



AGENDA - TROY PLANNING COMMISSION MEETING
WEDNESDAY, SEPTEMBER 23, 2026, 3:30 P.M.
CITY HALL, COUNCIL CHAMBERS

1. Roll Call
2. Approval of Minutes - Sep. 9, 2026
3. Historic District Application - Certificate of Appropriateness, 111 W. Water Street, installation of three building signs
 - Owner - Randy Kimmell
 - Applicant - The MT Studio, LLC, Michael Twiss
 - Motion to take from the Table, second, roll call vote
 - Commission to make the decision.
4. Other
5. Adjourn

Next Meeting Date - 10-14-2026

Members - if you will not be attending, please call or email Sue

SEPTEMBER 9, 2026

A regular meeting of the Troy Planning Commission was held in Council Chambers, City Hall on Wednesday, September 9, 2026, at 3:30 p.m. with Chairman Jim McGarry presiding. ATTENDING: Members – McGarry, Wolke, Ehrlich, Titterington, Westmeyer, Oda, and Emerick; Development Staff – Bruner; Development Director Tim Davis.

APPROVAL OF MINUTES: Upon motion of Mayor Oda, seconded by Mr. Emerick, the minutes of the August 26, 2026, meeting were approved by unanimous voice vote.

HISTORIC DISTRICT APPLICATION – CERTIFICATE OF APPROPRIATENESS, 121 PUBLIC SQ., STE 101, FOR PAINTING; OWNER - MARVIN RAMIREZ; APPLICANT – CHEYENE NICHOLSON. Staff reported: Property is Zoned, B-3 Central Business District; paint colors will be Pittsburgh Paints & Stains Dark Sage (MEN7174-5) with accent color of Pittsburgh Paints & Stains Purple Basil (MEN7065-6); staff reported that the paint color meets the requirements of the Design Manual, and staff recommends approval based on the paint colors being in compliance with Design Manual Section 2.6. Paint color chips were provided.

ACTION OF THE COMMISSION. A motion was made by Mayor Oda, seconded by Mr. Titterington, that the Troy Planning Commission approves the historic district application for the painting of 121 Public Square, Suite 101 as submitted based on the exact paint colors provided in the application and viewed by the Commission, and based on the finding of Staff that the application is in compliance with Section 2.6 of the Design Manual.

MOTION ADOPTED, UNANIMOUS ROLL CALL VOTE.

HISTORIC DISTRICT APPLICATION – CERTIFICATE OF APPROPRIATENESS, 111 W. WATER STREET, FOR INSTALLATION OF BUILDING SIGNS; OWNER – RANDY KIMMELL; APPLICANT – THE MT STUDIO, LLC, MICHAEL TWISS. Staff reported: Property was constructed in 1863 and is not on the National Register of Historic Places; building is permitted 150 square feet of building signage; application is for two signs of individual mounted letters; 54 sq. ft with red lettering mounted directly into the sign backer on the west faced; 84 sq. ft on the front façade, facing Water Street; for a total of 138 sq. ft.; the red color is Sherwin Williams Real Red 6868. Staff noted that the signs have been installed without the applicant seeking a Certificate of Appropriateness, so the applicant had to pay double the permit fee. Staff recommended approval based on:

- The proposed sign will meet the City of Troy Sign Code requirements.
- The proposed sign complies with Section 5.4 of the Design Manual.

DISCUSSION: Mayor Oda commented that there was a third sign facing the parking lot that reads Bar B Q. Staff was asked to check the building and determine if a third sign has been placed and, if so, is the total square feet of signage still within the allowed signage.

ACTION OF THE COMMISSION. A motion was made by Mr. Wolke, seconded by Mr. Titterington, to table the application for 111 W. Water Street so that the third sign could be checked and, if it has been placed, staff speak with the applicant.

MOTION TO TABLE ADOPTED, UNANIMOUS ROLL CALL VOTE.

There being no further business, the meeting adjourned at 3:39 p.m. upon motion of Mr. Titterington, seconded by Mrs. Ehrlich, followed by unanimous voice vote.

Respectfully submitted,

Chairman

Secretary

MEMORANDUM

TO: City of Troy Planning Commission Members

FROM: Austin Eidemiller, Planning & Zoning Manager

DATE: September 16, 2026

SUBJECT: Historic District Review – 111 W. Water Street

PROPOSAL:

A request by the applicant, Level MB, on behalf of the owner, Randy Kimmel, for the installation of building signs at the property located at 111 W. Water Street, Parcel ID: D08-000170. The applicant has received authorization from the property owner for the proposed request.

The OHI form for 111 West Water Street describes this structure as a two-story brick vernacular commercial/industrial building. CDF: includes simple form finestrations; simple brick voussoirs above windows; some wood and some stone sills. The structure was built in 1863 by the Schwind & Mayer Brewery and is not listed on the National Register of Historic Places.

DISCUSSION:

This building is permitted to have a total of 150 square feet of building signage. The applicant is proposing to install the maximum allowance of 150 square feet with three (3) sets of individual mounted lettering. On the West façade, there will be two signs: one totaling 12 square feet with red lettering, and the other is 54 square feet with red lettering mounted directly to a sign backer. On the front façade (facing Water Street), there will be an 84 square foot sign with red lettering mounted directly to a sign backer. It is important to note that the signs have already been installed without a COA from the Planning Commission (see attached photos).

DESIGN MANUAL:

The Design Manual section 5.4 states, "Wall signs should be three dimensional, with letters carved by a router, or; letters should be individually pin-mounted or incorporated into a sign panel". The proposed building signage will meet section 5.4 of the Design Manual.

This application has been reviewed for compliance with all requirements of the sign code except for the additional design standards imposed by the historic district regulations and has been found to comply with same.

RECOMMENDATION:

Staff recommends approval of the proposed sign based on the following:

- The proposed sign will meet the City of Troy Sign Code requirements;
- The proposed sign complies with section 5.4 of the Design Manual.





20240544



TROY
DEVELOPMENT
DEPARTMENT

Troy Development Department
102 S. Market St.
Troy, OH 45373
937.339.9481

CITY OF TROY PLANNING COMMISSION
Certificate of Appropriateness (Historical Review)

Date 9/03/26

Applicant [REDACTED] Telephone No. [REDACTED]

Owner of Property [REDACTED] Has the Owner been Notified? Yes

Address of Project 111 W Water St

Contact Address (if different than Project Address) [REDACTED]

Name of Architect/Engineer and/or Contractor The MT Studio, LLC - Michael D Twiss

Application for renovation to include the following:

- ☒ Alteration
- ☐ Construction
- ☐ Moving A Building
- ☐ Painting

- ☐ Repair
- ☐ Demolish - Principal Structure
- ☐ Demolish - Accessory Structure
- ☐ Other: _____

Will the work require use of the public right of way? (Blocking of sidewalk, parking spaces, etc?) ☐ Yes ☒ No

*If yes, a use of public space application is required

ONE (1) COPY OF INFORMATION TO BE SUPPLIED BY APPLICANT:

- (a) Site Plan drawn to scale shall be provided showing structure in question & its relationship to adjacent structures.
- (b) Description of proposed use, if different than existing use.
- (c) Plans illustrating the proposed structural or exterior changes, including changes in parking facilities, landscaping, screening, fences, signs and other relevant structures and fixtures, and relationship to surrounding structures.
- (d) Description and samples of materials proposed to be used in the project.
- (e) Paint samples for painting applications.
- (f) Any other photographs or illustrative visual aids and/or materials relevant to the project.
- (g) A written letter from the owner acknowledging the application, or a printed signature from the property owner on this form.
- (h) Application fee: \$25.00

*The Planning Commission meets on the second and fourth Wednesday of every month. Completed applications are due a minimum of two weeks prior to the requested meeting date.

SIGNATURE OF APPLICANT:

Michael D. Twiss

SIGNATURE OF PROPERTY OWNER:

Randy Kimmel

PRINTED NAME OF PROPERTY OWNER:

Randy Kimmel

OFFICE USE ONLY:

DATE FILED: _____

CASE #: _____

DATE OF MEETING: _____

102 South Market Street, Troy, OH 45373-7303

Make it yours.



**APPLICATION FOR SIGN PERMIT:**

Type of Project: ☐-New Industrial ☐-New Commercial ☐-New Residential ☐-Temporary ☒- Reface of Existing

Applicant/ Business Name:

Address:

Phone:

Email:

Address: 226 S Market St - Troy, OH 45373

Phone

Email:

Property Owner Name:

Address: 111 W Water St - Troy, OH 45373

Phone:

Email:

New tenant? ☒-Yes ☐-No

Building setback: Existing

Height & Stories of Building:

Building/Tenant Frontage (linear feet): 80Top of New Sign from Grade: 23'Number of Faces: 2

Cost of Sign(s): \$5,000

Type of Proposed Sign:

☐ - Awning

☐ - Development I.D.

☐ - Window

☐- Billboard

☐ - Freeway Oriented

☐ - Other

☐- Building

☐ - Ground

☐- Canopy

☐- Projecting

☐ - Temporary Banner: 28 days or 4, 7-day increments total: Dates for display:

☐ - Temporary Const. Sign: Removed within 14 days of beginning of intended use or completion of const, whichever is sooner.

Illuminated: ☐-Internal

-External

☐-Electronic Changeable☐- No

Historic District: ☒- Yes ☐-No If YES, a Historic District Review Application is Required.

Dimensions:

Quantity: 2 Length: _____ Width: 28' / 18' Height: 3' Total Sq.ft.: 84' / 54'

-Provided separate drawings w/ dimensions

Fees: - New Signs - \$50

☐ - Temporary Signs - \$25

By signing this application, I acknowledge that I am authorized by the owner to make this application. The information presented is accurate. I agree to allow City of Troy employees to enter the property in order to complete necessary inspections. I agree to conform to all applicable laws of the City.

Signature:

Date: **9/3/26**

100 South Market Street, Troy, OH 45373-7303

Make it yours



FIGURE #	DRAWING TITLE
00	GENERAL NOTES
01	COVER SHEET
02	PIPE SAFETY
03	STRUCTURAL
04	GENERAL NOTES
05	SMALL FLOOR PLAN
06	STRUCTURAL DETAIL
07	ARCHITECTURAL
08	SMALL ROOM FLOOR PLAN DETAIL
09	DOOR SCHEDULE AND DETAIL
10	FLOOR PLAN
11	FRONT ELEVATION
12	REFLECTED CEILING PLAN
13	PLUMBING
14	MECHANICAL LAYOUT
15	WATER LAYOUT
16	SEWER LAYOUT
17	MECHANICAL EQUIPMENT AND FURNISH SCHEDULE
18	ELECTRICAL
19	POWER PLAN
20	LIGHTING PLAN

PROJECT LOCATION 111 W. WATER ST TROY, OH 45329	SITE OF WORK RE-HAB CONSTRUCTION OF A 4,800 SF RESTAURANT LOCATED IN TROY, OH. THE INFORMATION CONTAINED WITHIN PERTAINS SOLELY TO ARCHITECTURAL, STRUCTURAL, PLUMBING AND ELECTRICAL CONSTRUCTION.
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DISPERSED DUMPSTER 1 FIRE ALARM SYSTEM	REFERENCE CODES 2024 CHC BUILDING CODE 2023 NFPA 70: NATIONAL ELECTRICAL CODE 2024 CHC MECHANICAL CODE 2022 NFPA 72: NATIONAL FIRE ALARM CODE 2024 CHC PLUMBING CODE 2015 INTERNATIONAL FUEL GAS CODE 2022 IECC AND 2018 ASHRAE 90.1 2017 ICC A117.1: ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 2024 CHC EXISTING BUILDING CODE																																													
COMPLIANCE METHOD (ENR300 SECTION 301.3)	PRESCRIPTIVE COMPLIANCE METHOD (SECTION 301.3.1)																																													
SQUARE FOOTAGE	4,892 SF																																													
OCCUPANCY GROUP (SECTION 302.2)	A-1 ASSEMBLY																																													
CONSTRUCTION TYPE (TABLE 605)	TYPE 6B																																													
FIRE SUPPLY (SECTION 302.3.1)	NOT SUPPLEMENTED																																													
OCCUPANT LOAD:	OCCUPANT LOAD CALCULATIONS FIRST FLOOR EXISTING FIRST FLOOR = 4,892 SF EXISTING FIRST FLOOR OCCUPANCY = 79 SECOND FLOOR EXISTING SECOND FLOOR = 4,892 SF EXISTING SECOND FLOOR OCCUPANCY = 128 TOTAL OCCUPANCY = 207																																													
CREST WIDTH	301.3.2 = 19" IF MAJORED; 19" PROVIDED																																													
NUMBER OF EXITS (TABLE 1003.3)	1 EXIT REQUIRED; 2 EXITS PROVIDED																																													
MINIMUM EXIT TRAVEL DISTANCE (TABLE 1017.2)	100 MAXIMUM																																													
FLAMMABLE FEATURES (TABLE 306.1)	100% PROVIDED; SEE SHEET 0-1																																													
	<table><tr><td></td><td>WIC</td><td>LAV</td><td>SP¹</td><td>SERVICE SINK</td></tr><tr><td>FIRST FLOOR</td><td>MALE PL</td><td>MALE</td><td>FEMALE</td><td>MALE</td></tr><tr><td></td><td>WIC</td><td>WIC</td><td>WIC</td><td>WIC</td></tr><tr><td>REQUIRED</td><td>1/05</td><td>1/05</td><td>1/05</td><td>1/00</td></tr><tr><td>PROVIDED</td><td>1</td><td>1</td><td>1</td><td>1</td></tr><tr><td>SECOND FLOOR</td><td>MALE FEMALE</td><td>MALE FEMALE</td><td></td><td></td></tr><tr><td></td><td>WIC</td><td>WIC</td><td>WIC</td><td>WIC</td></tr><tr><td>REQUIRED</td><td>1/05</td><td>1/05</td><td>1/00</td><td>1/00</td></tr><tr><td>PROVIDED</td><td>3</td><td>2</td><td>1</td><td>1</td></tr></table>		WIC	LAV	SP ¹	SERVICE SINK	FIRST FLOOR	MALE PL	MALE	FEMALE	MALE		WIC	WIC	WIC	WIC	REQUIRED	1/05	1/05	1/05	1/00	PROVIDED	1	1	1	1	SECOND FLOOR	MALE FEMALE	MALE FEMALE				WIC	WIC	WIC	WIC	REQUIRED	1/05	1/05	1/00	1/00	PROVIDED	3	2	1	1
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PROVIDED	3	2	1	1																																										
	YEN 410.1 (DFO) WHERE RESTAURANTS PROVIDE DRINKING WATER IN A CONTAINER FREE OF CHARGE OR WHEN RESTAURANTS ARE NOT BE REQUIRED IN THOSE RESTAURANTS.																																													

PROJECT NOTES



A. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK IF ANY DISCREPANCIES AREN'T CONTACT ARCHITECT IMMEDIATELY.

B. EXHAUST PLANS WHERE EXHAUST OUTLET PLANS ARE PROVIDED, DIMENSIONS AND SPECIAL DETAILING OR FINISH CONDITIONS ARE TO BE USED. IF THE EXHAUST PLANS AND DETAILS CONTAIN AN ERROR, THE ANALYST SHALL PLACE A CALL DURING DRAWING SHALL GOVERN.

C. WALL AND PARTITION OPENINGS: IDENTIFICATION OF CODE MINIMUM OPENING SIZE IS ESSENTIALLY THE SAME AS FOR WALLS. IF THE ANALYST HAS A QUESTION, HE OR SHE SHOULD ASK THE ARCHITECT. IF THE ANALYST HAS A LETTER NOT IN WHICH INDICATES FOLLOWING THE SPACE NUMBER IN THE OPENINGS SCHEDULE SHALL GOVERN.

D. NOTES ON SHEET: NOTER BUILTER WITH MINIMUM NUMBER REFERENCE TO THE "NOTER NOTE" NUMBER CONTAINED ON THE SAME SHEET. IF A NOTE CONTAINS WORDING REFERENCE TO CODE, THE ANALYST MUST ONLY IF IT IMPARTED THAT THE CORRESPONDING DOCUMENT IS PREPARED BY THE RELATED CONSULTANT SHOULD BE REFERRED FOR MORE SPECIFIC INFORMATION AS INDICATED BELOW.

"MECHANICAL"	REFER TO MECHANICAL DOCUMENTS
"ELECTRICAL"	REFER TO ELECTRICAL DOCUMENTS
"PLUMBING"	REFER TO PLUMBING DOCUMENTS

E. THE NOTE TO WORK IN THE AREA OR COMPARTMENT IS A GENERAL STATEMENT, DESIGN, JUMP WORK, AND ARCHITECTURAL REQUIREMENTS. THE NOTE SHOULD BE USED TO COMPLETE A STATEMENT TO OPEN NOTES. STATUS FOR MINOR REVISIONS FOR TYPICAL WORK, OR FOR CORRECTIONS OF EXISTING CONDITIONS, OR PREVIOUSLY HANDLED AREAS, PENDING FOR THE WORK. VENDOR'S COMMENTS OR REVISIONS TO THE PROJECT SHALL BE EVALUATED ON A CASE BY CASE BASIS.

F. THE CONTRACTOR SHALL EXERCISE ALL DUTY AND OBLIGATIONS OF ONE WHO MAY ADVISE: NOTICE TO OWNER, CONTRACTOR SHALL BE GROUPED AND PLANNED IN ORDER TO BE GROUPED.

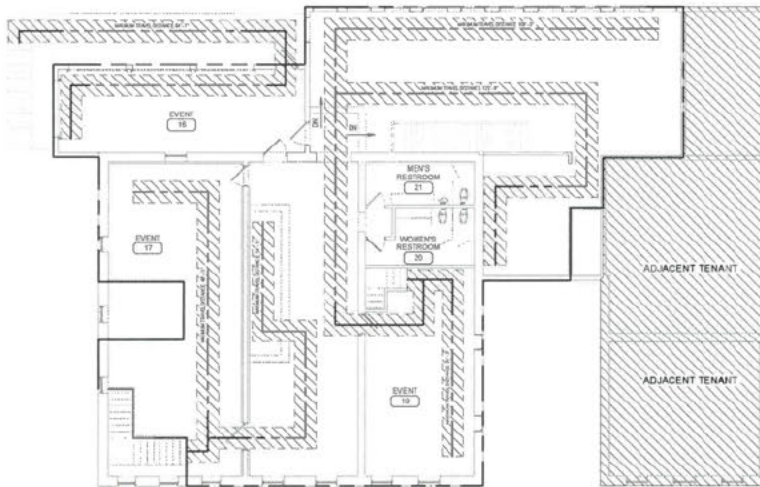
G. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL, WORKMANSHIP MANNER AND SHALL CONFORM TO THE STATE, FEDERAL, AND LOCAL CODES, AND INDUSTRY STANDARDS.

H. FIRE EXTINGUISHERS SHALL BE PROVIDED BY BUILDING OWNER UPON CONSULTATION WITH LOCAL FIRE DEPARTMENT AS TO TYPE, SIZE, AND LOCATION.

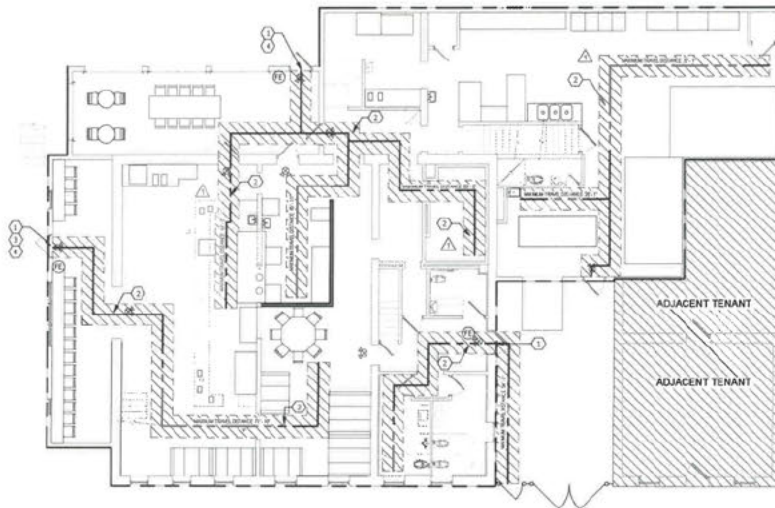
I. COORDINATE FIRE ALARM AND
NOTER SYSTEM
TO BUILDING MANAGER
10/15/2018



G-1.0



2 LIFE SAFETY PLAN - SECOND FLOOR
1/8" = 1'-0"



1 LIFE SAFETY PLAN - FIRST FLOOR
1/8" = 1'-0"

SHEET NOTES

1. THRESHOLDS TO BE BARRIER FREE COMPLIANT PER ALL APPLICABLE CODES.
2. SHOWN FREE IN PLAN OF TRAVEL.
3. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN.
4. PROVIDE "ACTILE" TEXT SIGNAGE.

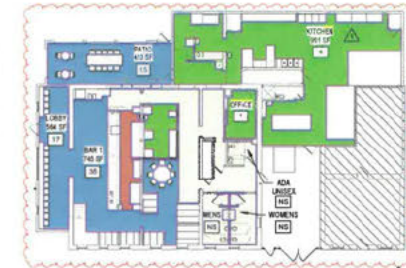
OCCUPANCY BREAKDOWN



4 SECOND FLOOR
1/16" = 1'-0"

Rentable Area Legend

- BAR - KITCHEN
- EVENT - ASSEMBLY A-2
- UNOCCUPIED - CIRCULATION / ACCESSORY



3 FIRST FLOOR
1/16" = 1'-0"

Rentable Area Legend

- BAR - KITCHEN
- DINING - ASSEMBLY A-2
- KITCHEN - KITCHEN
- UNOCCUPIED - CIRCULATION / ACCESSORY

OCCUPANT LOAD BREAKDOWN
FIRST FLOOR
 EXISTING FIRST FLOOR = 4,992 SF
 EXISTING FIRST FLOOR OCCUPANCY = 124
SECOND FLOOR - UNOCCUPIED EVENT USE ONLY
 EXISTING SECOND FLOOR = 4,062 SF
 EXISTING SECOND FLOOR OCCUPANCY = 124
TOTAL OCCUPANTS = 168

LEGEND

- ROOM NAME (101) INDICATES ROOM NUMBER
- FIRE EXTINGUISHER - NUMBER AND LOCATIONS AS DETERMINED BY THE FIRE MARSHAL
- EMERGENCY LIGHTING - REFER TO ELECTRICAL DRAWINGS
- EMERGENCY EXIT LIGHT - REFER TO ELECTRICAL DRAWINGS



224 S. Market St.
Troy, OH 45373
937.980.9362



Rehab Project for:
RUDY'S SMOKEHOUSE
111W. WATER STREET TROY, OH 45373
MT STUDIO PROJECT NUMBER: 34094

ISSUED / REVISED DATE
 Issued for Permitting 6.19.2020
 Bulletin 6.30.2020
 Bulletin 7.13.2020

LIFE SAFETY

G-1.1

A. GENERAL

1. THE STRUCTURAL ENGINEER OF RECORD IS RESPONSIBLE FOR THE ADEQUACY OF THE STRUCTURAL DESIGN AS SHOWN IN THE CONTRACT DOCUMENTS WHICH DEPICT THE STRUCTURE IN ITS COMPLETED FORM. THE STRUCTURE IS DESIGNED TO BE CAPABLE OF WITHSTANDING CODE PRESUMED DESIGN FORCES AND FULLY SATISFY THE DESIGN CRITERIA AND REQUIREMENTS (E.G., FULLY BUILT). IT IS SOLELY THE RESPONSIBILITY OF OTHERS TO DETERMINE ERECTION PROCEDURE AND SEQUENCE FOR THE SAFETY OF THE STRUCTURE AND ITS COMPONENTS PARTS DURING ERECTION. THIS INCLUDES THE ADOPTION OF WHATEVER PROVISIONS, INCLUDING TEMPORARY BRACINGS, STAYS, ETC. FOR THE SAFETY OF THE STRUCTURE. IF NECESSARY, SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER THE COMPLETION OF THE PROJECT.
2. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
3. ALL ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE BASED ON THE SECOND FLOOR DATUM OF 100'-0" (F.N.C.).
4. STRUCTURAL DRAWINGS ARE INTENDED TO BE USED WITH THE OTHER DRAWINGS RELEASED FOR THE PROJECT. CONTRASTOR TO DETERMINE THE EXISTING POSSIBLE, SUCH INTERRELATIONSHIPS IN PROJECT SHOP DRAWINGS AND FIELD WORK.
5. DO NOT SCALE THESE DRAWINGS, USE DIMENSIONAL DATA PROVIDED.
6. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR FIRE RATING REQUIREMENTS, FIRE-PROOFING METHODS, AND FIRE-PROOFING MATERIALS FOR STRUCTURAL MEMBERS.

B. DELEGATED DESIGN/DEFERRED SUBMITTALS

1. DELEGATED DESIGN AND DEFERRED SUBMITTALS ARE ITEMS DESIGNED BY OTHERS. SHOP DRAWINGS AND CALCULATIONS SHALL BE GENERATED FOR THE DESIGN AND FABRICATION OF ALL DELEGATED DESIGN AND DEFERRED SUBMITTALS ITEMS INDICATED BELOW. THESE DRAWINGS AND CALCULATIONS SHALL BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER IN THE STATE WHERE THE PROJECT IS TO BE CONSTRUCTED. FOR ITEMS DESIGNATED AS DESIGNED BY THE CONTRACTOR, "DESIGNED BY SUPPLIER," "DESIGNED BY FABRICATOR," AND "DESIGNED BY INSTALLER," IF THESE ENTITIES ARE NOT PROVIDING THEIR OWN ENGINEERING WITH THEIR SUBMITTALS, THEY MUST BE PROVIDED BY A PROFESSIONAL ENGINEER WHO WILL SEAL AND SIGN THEIR SUBMITTALS THEN THESE ENTITIES WILL INDEPENDENTLY CONTRACT A THIRD PARTY TO PROVIDE THIS SERVICE ON THEIR BEHALF. UNLESS SPECIFIED ON THE DRAWINGS OR IN THE SPECIFICATIONS, DELEGATED DESIGN ITEMS SHALL BE DESIGNED FOR ALL CODE DEFINED LOADS PLUS INDUSTRY STANDARD LOADS INCLUDING GRAVITY LOADS AND LATERAL LOADS DUE TO WIND AND SEISMIC. SEE THE RELEVANT SECTIONS OF THE GENERAL NOTES SHEETS FOR ADDITIONAL DESIGN REQUIREMENTS. CALCULATIONS SHALL INCLUDE REVIEW OF THE CAPACITIES OF ALL SUPPORTING STRUCTURAL ELEMENTS INCLUDING LOCAL STRESSERS DUE TO THE CONNECTION METHODS SELECTED. ADDITIONALLY, THE CALCULATIONS AND DRAWINGS SHALL CLEARLY INDICATE THE MAGNITUDES AND DIRECTIONS OF THE LOADS IMPOSED ON THE SUPPORTING STRUCTURAL ELEMENTS. THE LOADING CRITERIA USED FOR DESIGN OF THE DELEGATED DESIGN SYSTEMS AND COMPONENTS SHALL BE CLEARLY INDICATED ON THE DRAWINGS AND CALCULATIONS, REGARDLESS OF WHETHER THEY ARE MANDATED BY THE ENGINEER OF RECORD BY WAY OF THE DRAWING AND SPECIFICATIONS OR DERIVED BY THE DESIGNER.
2. TEMPORARY SHORING, FOUNDATIONS, BRICK PILING, PILES AND LAGGING REQUIRED FOR INSTALLATION OF FOUNDATIONS AND FOUNDATION WALLS SHALL BE DESIGNED BY THE CONTRACTOR. EXCAVATIONS REQUIRED FOR FOUNDATION AND FOUNDATION WALL CONSTRUCTION NEXT TO EXISTING BUILDINGS, NEAR PROPERTY LINES AND NEAR OTHER UTILITIES MUST BE CONSIDERED BY THE CONTRACTOR IN EVALUATING SHORING REQUIREMENTS.
3. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION COMPONENTS: ROOFTOP UNITS, DESIGN OF THE MECHANICAL UNIT CURB CONNECTIONS OF THE UNIT TO THE CURB AND CONNECTIONS OF THE CURB TO STRUCTURE SHALL BE PROVIDED BY THE MECHANICAL UNIT CONTRACTOR. ADDITIONAL SUPPORT FRAMING FOR SUPPORTING THE GRAVITY AND LATERAL LOADS SHALL BE DESIGNED, ENGINEERED AND PROVIDED IF IT IS NOT INDICATED ON THE STRUCTURAL DRAWINGS. IF ADDITIONAL SUPPORT FRAMING IS REQUIRED, THE STRUCTURAL ACCOUNT SHALL BE RESPONSIBLE FOR ALL RARE 1-IN LOAD COMBINATIONS. SHOP DRAWINGS AND CALCULATIONS PROVIDED BY THE MECHANICAL CONTRACTOR SHALL PROVIDE DETAILS INDICATING THESE CONNECTIONS, SUPPORT AND BRACING OF OUTDOOR, PIPING, CONDENSATE AND CABLE TRAYS ASSOCIATED WITH MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION COMPONENTS SHALL BE PROVIDED BY THE CONTRACTOR INSTALLING THE COMPONENTS. FOR PROJECTS IN SEISMIC DESIGN CATEGORY C, D AND HIGHER, SEISMIC BRACING OF ALL MECHANICAL AND ELECTRICAL COMPONENTS REQUIRED BY THE ASCE 7-18 SHALL BE DESIGNED BY THE MECHANICAL CONTRACTOR AND CLEARLY INDICATED ON THE SHOP DRAWINGS.
4. SUPPORTS FOR INTERIOR FINISHES AND ACCOUTREMENTS: INTERIOR PARTITIONS, SOFFITS AND STOREFRONT SYSTEMS NOT PART OF THE MAIN BUILDING SHELL SHALL BE DESIGNED BY THE SUPPLIER. SUPPORTS AND CONNECTIONS TO STRUCTURE REQUIRED FOR ARTWORK, SPECIALTY LIGHTING SYSTEMS, MONITORS, VIDEO EQUIPMENT AND PROJECTION SCREENS, TELEVISIONS AND ANY OTHER MISCELLANEOUS ITEMS SHALL BE PROVIDED BY THE SUPPLIER.
5. WINDLOOS, STOREFRONT, GLAZING AND CURTAIN WALL SYSTEMS: ALL EXTERIOR AND INTERIOR GLAZING SYSTEMS AND THEIR CONNECTIONS TO STRUCTURE SHALL BE DESIGNED BY THE SUPPLIER. CONNECTION LOCATIONS SHALL BE CLEARLY INDICATED AND COORDINATED WITH ARCHITECTURAL AND STRUCTURAL DETAILS. DUE TO MOVEMENT OF THE STRUCTURAL FRAMING SYSTEMS FROM LATERAL WIND AND SEISMIC FORCES, THE GLAZING SYSTEM MUST BE DESIGNED TO ACCOMMODATE 3/4" HORIZONTAL STORY DRIFT IN EACH DIRECTION AT EACH STORY LEVEL. THE DESIGN STORY DRIFT IS THE DIFFERENCE IN LATERAL DISPLACEMENT OF THE TOP OF THE STORY UNDER CONSIDERATION RELATIVE TO THE BOTTOM OF THAT STORY (TOP OF THE STORY BELOW). THE CONNECTIONS OF THE GLAZING SYSTEM TO STRUCTURE CAN BE DESIGNED FOR THIS RELATIVE HORIZONTAL MOVEMENT. THE CONNECTIONS SHALL BE DESIGNED FOR 3/4" HORIZONTAL (IN-PLANE) MOVEMENT IN ADDITION TO THE VERTICAL DEFLECTION REQUIREMENTS ASSIGNED IN THE PANEL DETAILS AND SPECIFICATIONS. IF THE CONNECTIONS ARE NOT DESIGNED FOR THE LATERAL MOVEMENT, THE GLAZING SYSTEM SHALL BE DESIGNED TO ACCOMMODATE 2" HORIZONTAL STORY DRIFT IN EACH DIRECTION AT EACH STORY LEVEL TO ACCOUNT FOR DIFFERENTIAL DISPLACEMENTS FROM LOAD REVERSALS IN THE STRUCTURAL SYSTEMS.

C. DESIGN LOADS

1. CODE REFERENCES

- a. 2010 BUILDING CODE (IBC) - 2014
- b. ASCE 7-22, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- c. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY, ACI 308 - 2017
- d. BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND SPECIFICATIONS FOR MASONRY
- e. BUILDING AND CONSTRUCTION CODES, 2018 - 2019
- f. COLD-FORMED STEEL DESIGN MANUAL, AISI - 2017
- g. SPECIFICATIONS FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS, AISI - 2017
- h. CATALOG OF STANDARD SPECIFICATIONS AND LOAD TABLES FOR STEEL JOISTS AND JOIST GIRDERS, STEEL JOIST INSTITUTE - 2017
- i. STEEL DECK-INSTITUTE FLOOR DECK DESIGN MANUAL, 16 EDITION - MARCH 2014
- j. STEEL DECK-INSTITUTE QUANQUAM DESIGN MANUAL, 8 EDITION - SEPTEMBER 2015
- k. STEEL DECK-INSTITUTE MANUAL OF CONSTRUCTION WITH STEEL DECK - OCTOBER 2016
- l. STEEL DECK-INSTITUTE STANDARD PRACTICE DETAILS - MAY 2001
- m. MANUAL OF STEEL CONSTRUCTION - AISI, 15th EDITION - 2017
- n. SPECIFICATIONS FOR STRUCTURAL JOISTS USING AISC 421-10, 61 AUGUST 2014
- o. STRUCTURAL WELDING CODE - STEEL, AISC/AWS D1.1 - 2015
- p. FEMA 455 - NEW RECOMMENDED PROVISIONS FOR SEISMIC REGULATIONS FOR NEW BLOCS AND OTHER STRUCTURES - 2015

2. DEAD LOADS

ROOF DEAD LOAD 20 PSF

3. LIVE LOADS

4. FLOOR/LIVE LOADS

OCCUPANCY TYPE:	DISTRIBUTED LOADS	CONCENTRATED LOAD (ON 25 SF AREA)
OFFICE ROOMS AND RESTAURANTS	100 PSF	N/A
STAIRS AND EXIT WAYS	100 PSF	300 POUNDS (2" x 2" AREA)

5. ROOF LIVE LOADS

MINIMUM DESIGN ROOF LIVE LOAD 20 PSF

6. SNOW/LIVE LOADS

SNOW/LIVE LOAD PARAMETERS:	
a. GROUND SNOW LOAD, P_g	20 PSF
b. FLAT-ROOF SNOW LOAD, P_f	14.0 PSF
c. THERMAL FACTOR, C_e	1.0
d. EXPOSURE FACTOR, C_d	1.0
e. ROOF SLOPE FACTOR, C_s	1.0
f. SNOW LOAD IMPORTANCE FACTOR, I	1.0

7. WIND DESIGN PARAMETERS

- a. ULTIMATE DESIGN WIND SPEED $= 115$ MPH
- b. WIND LOAD IMPORTANCE FACTOR $= 1.2$
- c. MAIN WIND DESIGN VELOCITY PRESSURES

HEIGHT (FT.)	WINDWARD WALL	LEEWARD WALL	SIDEWALLS
0 - 15	20.0 PSF	-17.8 PSF / -10.3 PSF	-22.8 PSF
15 - 20	22.8 PSF	-17.8 PSF / -10.3 PSF	-22.8 PSF
20 - 25	23.7 PSF	-17.8 PSF / -10.3 PSF	-22.8 PSF
25 - 30	24.5 PSF	-17.8 PSF / -10.3 PSF	-22.8 PSF

8. COMPONENT AND CLADDING LOADS

AREA (SQ. FT.)	INTERIOR ZONE	EDGE ZONE
10	30.0 PSF	37.0 PSF
20	26.0 PSF	29.0 PSF
300	24.0 PSF	27.0 PSF
500	23.0 PSF	25.0 PSF

9. SEISMIC DESIGN PARAMETERS

- a. OCCUPANCY CATEGORY: X
- b. SITE CLASS: D
- c. IMPORTANCE FACTOR: 1.0
- d. SEISMIC DESIGN CATEGORY: B
- e. RESPONSE REDUCTION COEFFICIENT: R = 2
- f. 0.2 SECOND DESIGN SPECTRAL RESPONSE: S_{DS} = 15.0%
- g. 1.0 SECOND DESIGN SPECTRAL RESPONSE: S_{D1} = 11.7%
- h. DIRECTIONAL AMPLIFICATION FACTOR: C_e = 1.2
- i. ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
- j. SEISMIC FORCE-RESISTING SYSTEM: ORDINARY REINFORCED MASONRY SHEAR WALLS
- k. SEISMIC BASE SHEAR: $V = C_e \times \text{WEIGHT}$

D. MASONRY

1. CONCRETE MASONRY UNIT (CMU) CONCRETE MASONRY UNIT ASSEMBLIES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF $f_m = 1500$ PSI.
2. HORIZONTAL JOINTS IN ALL CMU WALLS SHALL BE REINFORCED WITH TRUSS-TYPE REINFORCING AS FOLLOWS: EVERY OTHER COURSE AND TOP (2) COURSES FOR ABOVE & BELOW GRADE WALLS. PROVIDE PREFABRICATED CORNER AND TEES. LAP A MIN. OF 24".
3. MORTAR SHALL BE TYPE "N", WITH A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 1800 PSI AND SHALL CONFORM TO IRC SECTION 2103. FOR HOLLOW CORE USE TYPE "N".
4. MASONRY GROUT:
 - a. GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS AND SHALL CONFORM TO IRC SECTION 2103.
 - b. ALL VERTICAL REINFORCING BARS SHALL BE GROUTED SOLID.
 - c. ALL HORIZONTAL REINFORCING BARS SHALL BE GROUTED SOLID.
 - d. GROUTING OF MASONRY BEAMS OVER OPENINGS SHALL BE PERFORMED IN ONE CONTINUOUS OPERATION.
 - e. GROUTING SHALL BE STOPPED 1" BELOW THE TOP OF A COURSE AND 1/2" BELOW THE TOP OF A BOND BEAM SO AS TO FORM A KEY AT THE JOINT.
5. MASONRY REINFORCING STEEL:
 - a. REINFORCING SHALL CONFORM TO IRC SECTION 2103 AND ACI 530.
 - b. REINFORCED BARS SHALL BE GRADE 60, AND SHALL BE SECURELY PLACED BY REBAR POSITIONERS.
 - c. REINFORCING STEEL TO BE WELDED SHALL CONFORM TO ASTM A706.
6. MASONRY WALL REINFORCING:
 - a. INCLUDE THE FOLLOWING MINIMUM REINFORCEMENT UNLESS NOTED ON DRAWINGS:
 - FOR 8" NOMINAL THICKNESS WALL:
 - VERTICAL: #5 BARS AT 48" O.C. AT CENTERLINE
 - HORIZONTAL: #3 BARS CONTINUOUS AT 8" O.C. IN GROUTED BOND BEAMS
 - FOR 12" NOMINAL THICKNESS WALL:
 - VERTICAL: #6 BARS AT 48" O.C. AT CENTERLINE
 - HORIZONTAL: #3 BARS CONTINUOUS AT 8" O.C. IN GROUTED BOND BEAMS
 - b. REINFORCING BOND BEAMS SHALL BE PROVIDED AT ALL FLOOR AND ROOF LINES AND AT THE TOP OF WALLS. PROVIDE A BOND BEAM ABOVE AND BELOW ALL OPENINGS AND EXTEND THESE BARS 48 BAR DIAMETERS PAST THE OPENING AT EACH END.
 - c. HORIZONTAL REINFORCING SHALL BE PROVIDED AT 16" O.C. UNLESS NOTED OTHERWISE. COORDINATE BRICK ANCHORS WITH JOINT REINFORCING LOCATIONS SEE SPECIFICATIONS.
 - d. SPREAD-OUT LUTEL BLOCKS SHALL BE USED AT THE HEAD OF ALL OPENINGS UNLESS NOTED OTHERWISE.
 - e. PROVIDE TWO BARS, MATCHING VERTICAL BAR SIZE, FOR THE FULL HEIGHT OF THE WALL AT EACH SIDE OF OPENING. WALL ENDS AND INTERSECTIONS. DOWELS TO MASONRY WALLS SHALL BE INJECTED A MINIMUM OF 1/4" OR HOOKED INTO THE SUPPORTING STRUCTURE AND BE OF THE SAME SIZE AND SPACING AS WALL REINFORCING.
 - f. EXTEND ALL VERTICAL REINFORCING INTO THE FOUNDATION WALL BELOW AND A MINIMUM OF 24" ABOVE ALL OPENINGS (J.U.O.).
 - g. ALL VERTICAL BARS SHALL BE HELD IN PLACE WITH REBAR POSITIONERS.
 - h. DOWELS FROM FOUNDATION WALL SHALL BE VERT. WIND MORE THAN 1" HORIZ. TO 8" VERT. OUT OF PLUMB. FOUNDATION DOWELS SHALL MATCH AND LAP WITH ALL VERTICAL WALL REINFORCING (NOTED) ABOVE UNLESS NOTED OTHERWISE. PROVIDE STANDARD 90° HOOK AT BOTTOM OF FOOTING UNLESS NOTED OTHERWISE.
 - i. ALL VERTICAL REINFORCING SHALL BE FULL HEIGHT OF WALLS, UNLESS NOTED OTHERWISE.
 - j. PROVIDE CORNER BARS TO MATCH THE HORIZONTAL WALL REINFORCING AT WALL INTERSECTIONS. LAP ALL BARS AT SPLICES 48 DIAMETERS, WITH A MINIMUM LAP OF 1' U.O.
 - k. ALL BOLTS, ANCHORS, EMBEDDED TIES AND MISCELLANEOUS STEEL INSERTED INTO THE WALLS SHALL BE GROUTED SOLID TO POSITION.
7. MASONRY LINTELS:
 - a. SEE ARCH. DRAWINGS FOR ACTUAL OPENING SIZES AND LOCATIONS.
 - b. ALL REINFORCING SHALL EXTEND 12" (MIN.) BEYOND JAMBS AND SHALL BE GROUTED SOLID FOR THE DEPTH OF THE LINTEL.
 - c. ALL LINTELS SHALL BE ADEQUATELY SHORED DURING THE GROUTING OPERATION AND SHORING SHALL REMAIN IN PLACE FOR AT LEAST 14 DAYS AFTER COMPLETION OF GROUTING OPERATIONS.
 - d. MASONRY CONTRACTOR SHALL BUILD LOOSE STEEL LINTEL ANGLES INTO MASONRY COURSE. MINIMUM ANGLE SIZES AND END SHORING LENGTHS SHALL BE PROVIDED PER THE SCHEDULE ON SHEET S2.0.
8. MASONRY MISCELLANEOUS:
 - a. PROVIDE 100% SOLID GROUTED BEARING, MIN. 3 COURSES UNDER BEAMS.
 - b. HOLLOW MASONRY UNITS TO BE LAD WITH FULL MORTAR COVERAGE ON HORIZONTAL AND VERTICAL FACE SHELLS. WEBS SHALL ALSO BE BEDDED IN ALL UNITS.
 - c. MASONRY OPENINGS 8" AND LESS MAY BE PROVIDED. ANY VERTICAL BARS INTERRUPTED SHALL BE REPLACED WITH FULL HEIGHT VERTICAL BARS EACH SIDE OF OPENING. ANY OPENING GREATER THAN 8" SHALL BE COORDINATED AND APPROVED BY STRUCTURAL ENGINEER OF RECORD PRIOR TO INSTALLATION. NEVER CUT BOND BEAM BASE IN HOLES FOR OTHERS WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.
 - d. GROUT UNDER BEARING PLATES TO BE NON-SHRINKING, NON-METALLIC TYPE.
 - e. A MESH SCREEN SHALL BE PLACED BELOW ALL BOND BEAMS TO CONTAIN GROUT.
 - f. SET BEARING PLATES IN BOND BEAMS AFTER THE GROUT IS PLACED, BUT WHILE IT IS STEEL PLASTIC.



226 S. Market St. Troy, OH 45373
937.560.9343

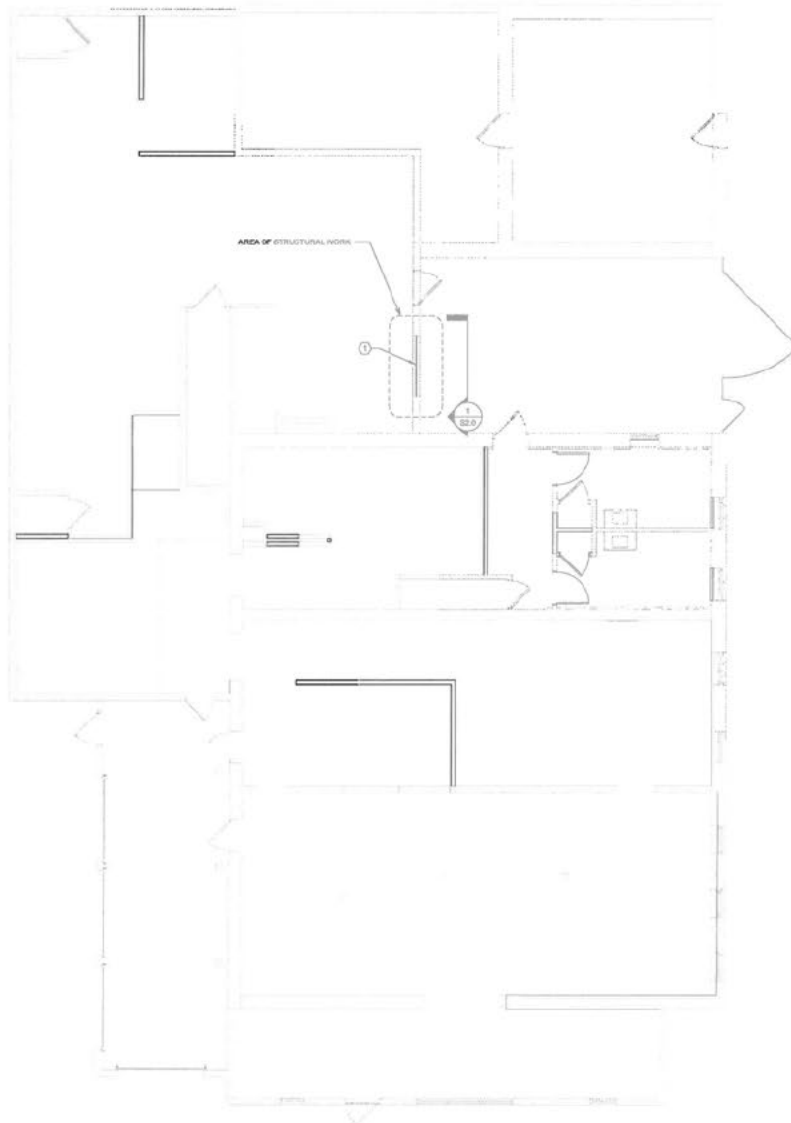


Rehab Project for:
RUDY'S SMOKEHOUSE
111 W. WATER STREET, TROY, OH 45373
LEVEL MB PROJECT NUMBER: 2-034

ISSUED / REVISED DATE
FOR PERMIT 06/05/26

GENERAL
NOTES

S0.1



① FIRST FLOOR PLAN
3/16" = 1'-0"

GENERAL NOTES:

1. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES FOUND.
2. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND DIMENSIONS OF NEW WALL OPENING.

PLAN NOTES:

1. NEW 6" DEEP CMU LINTEL w/ (2) #5 HORIZONTAL BARS.

LEVEL
MB
CONSTRUCTION

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937.980.9343

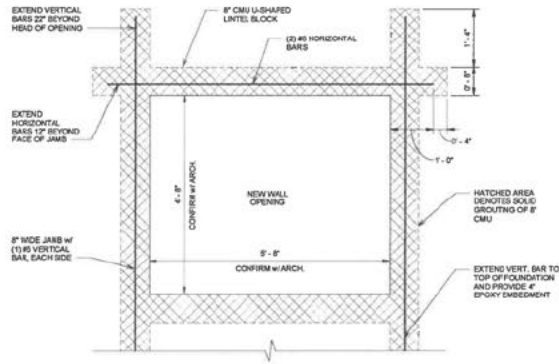


Rehab Project for
RUDY'S SMOKEHOUSE
111 W. WATER STREET, TROY, OH 45373
LEVEL MB PROJECT NUMBER: 2404

ISSUED / REVISED DATE
FOR PERMIT 06/05/25

**FIRST
FLOOR PLAN**

S1.0



FRM DETAIL - NEW OPENING IN CMU WALL
① 3/4" = 1'-0"

NOTE:

CONTRACTOR HAS THE OPTION TO PROVIDE STEEL ANGLE LINTELS FOR NEW WALL OPENING INSTEAD OF CMU LINTEL. REFER TO THE SCHEDULE BELOW FOR SIZE OF STEEL ANGLES REQUIRED BASED ON THE OPENING WIDTH. PROVIDE (2) STEEL ANGLE LINTELS TO SUPPORT THE 8" CMU WALL (SCHEDULE BELOWS BASED ON 4" WIDTH).

BRICK LINTEL SCHEDULE			
OPENINGS	SUPPORT		
WIDTH	ANGLE SIZE	MIN. BRG. EA. END	
UP TO 3'-6"	L 3-1/2 x 3 x 1/4 (LLH)	4"	 4" BRICK VENEER
UP TO 4'-6"	L 4 x 3-1/2 x 1/4	4"	
UP TO 5'-6"	L 4 x 3-1/2 x 1/4 (LLV)	6"	 STEEL ANGLE PER SCHED.
UP TO 7'-0"	L 5 x 3-1/2 x 1/4 (LLV)	6"	
UP TO 8'-0"	L 6 x 3-1/2 x 5/16 (LLV)	6"	
UP TO 10'-0"	L 6 x 3-1/2 x 3/8 (LLV)	7"	SECTION
ADDITIONAL REMARKS:			
1. USE ABOVE ANGLE SIZES AT ALL MASONRY OPENINGS EXCEPT WHERE DETAILED OTHERWISE.			
2. SEE ARCH. DRAWINGS FOR LOCATION AND SIZE OF MASONRY OPENINGS.			



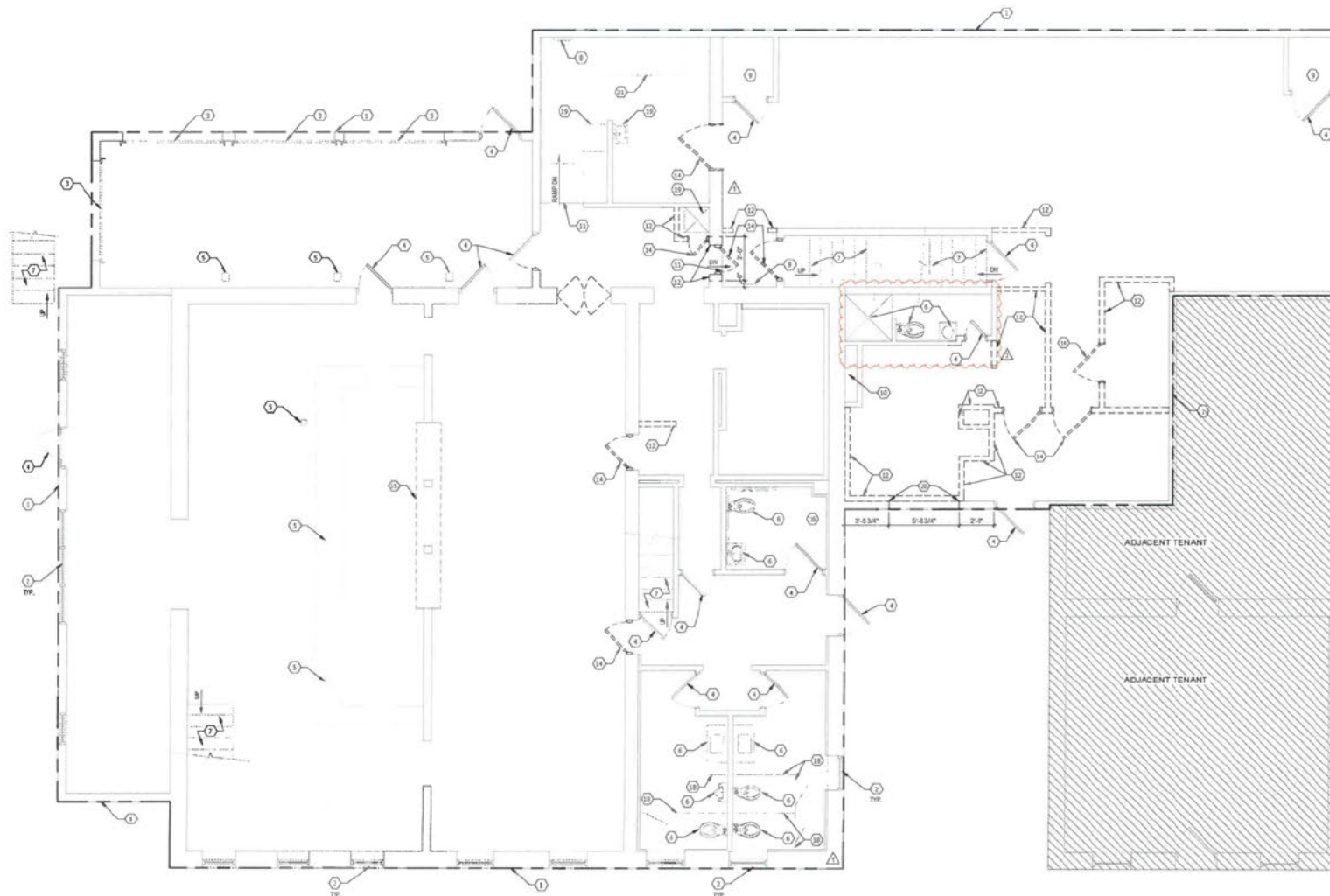
Rehab Project for:
RUDY'S SMOKEHOUSE
111W WATER STREET, TROY, OH 45373

LEVEL MB PROJECT NUMBER: 2494

ISSUED / REVISED DATE
FOR PERMIT 06/07/26

STRUCTURAL
DETAILS

S2.0



01 DEMOLITION FLOOR PLAN
1/4" = 1'-0"



SHEET NOTES

- 1 LEASE LINE DENOTES EXTENT OF WORK.
- 2 WINDOW TO REMAIN.
- 3 OVERHEAD GLASS DOOR TO REMAIN.
- 4 DOOR AND FRAME TO REMAIN.
- 5 COLUMN TO REMAIN.
- 6 EXISTING LAMINATE FLOOR TO REMAIN.
- 7 STAIR AND RAILING TO REMAIN.
- 8 EXISTING ELECTRICAL PANELS TO REMAIN.
- 9 FURNACE SYSTEM TO REMAIN.
- 10 ROOF DRAIN AND PLUMBING SYSTEM TO REMAIN.
- 11 LINE OF PLASTER TO REMAIN.
- 12 REMOVE PARTITION OF WALL WITH ENTIRETY. PATCH & REPAIR AS REQUIRED.
- 13 REMOVE INTERIOR DOOR AND FRAME WITH ENTIRETY.
- 14 EXISTING BAR TOP AND BASE TO REMAIN.
- 15 EXISTING ADA TOILET, SINK, GRAB BARS AND ACCESSORIES TO REMAIN.
- 16 NOT USED.
- 17 EXISTING PARTY PARTITION TO REMAIN.
- 18 EXISTING PLUMBING EQUIPMENT TO REMAIN.
- 19 REMOVE PORTION OF LOAD BEARING MASONRY WALL, SEE STRUCTURAL DRAWINGS.
- 20 EXISTING EXHAUST HOOD SYSTEM TO REMAIN.

GENERAL NOTES

- A. CHECK ELECTRICAL DRAWINGS PRIOR TO DEMOLITION WITH REGARD TO UTILITIES. EXISTING WIRING, LINES, COMPONENTS, ETC. PROVIDE TRASH CONTAINER AS REQUIRED AT LOCATION TO BE REMOVED. REMOVE WIRING DAILY AND HURL FROM THE SITE AT TIME TO SUIT LANDLORD.
- B. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS SHOWN ON DRAWINGS.
- C. ALL REMOVED MATERIAL, WITH THE EXCEPTION OF DEMOLITION, AND ALL DEBRIS REMOVED THE PROPERTY OF THE CONTRACTOR, WHO SHALL REMOVE IT FROM THE SITE.
- D. CONTRACTOR SHALL NOT DEMOLISH ANY LOAD BEARING WALL OR STRUCTURE THAT WILL COMPROMISE THE STRUCTURAL INTEGRITY OF THE EXISTING SPACE. CONTRACTOR TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY STRUCTURAL CONCERNS DURING CONSTRUCTION.
- E. EXISTING EQUIPMENT NOT BEING USED MUST BE COMPLETELY REMOVED (DISPOSED OF PROPERLY). NOTHING CAN BE ABANDONED ABOVE THE CEILING.
- F. REMOVE ALL EXISTING HOOKS, PARTITIONS, DOORS AND DOOR FRAMES SCHEDULED FOR DEMOLITION. REMOVE ALL MILLWORK, EQUIPMENT, ETC. ATTACHED TO WALLS. SCHEDULED FOR DEMOLITION.
- G. REMOVE EXISTING ACOUSTIC CEILING GRID AND TILES, LIGHT FIXTURES, AND OFFICIAL WALLBOARD. EXISTING IS SCHEDULED FOR DEMOLITION AND IS REQUIRED BY PARTITION DEMOLITION AND NEW CONSTRUCTION WORK. MAINTAIN EXISTING CEILING WIRE HANGERS FOR FUTURE USE.
- H. REMOVE EXISTING WALLS, GROUND, OUTPUTS, TELEPHONE AND DATA JACKS AND THERMOSTATS IN PARTITIONS SCHEDULED FOR DEMOLITION. MODIFY EXISTING WORKING AS REQUIRED BY NEW CONSTRUCTION OR IF NOT REQUIRED, TERMINATE AND CAP OFF AT NEAREST FLOOR OR SOURCE ABOVE CEILING.
- I. REMOVE EXISTING HVAC CEILING DIFFUSERS AND RETURN GRILLES AS SCHEDULED FOR DEMOLITION AND AS REQUIRED BY PARTITION DEMOLITION AND NEW CONSTRUCTION. MODIFY EXISTING DUCTWORK AS REQUIRED BY NEW CONSTRUCTION OR IF NOT REQUIRED, TERMINATE AND CAP OFF SUPPLY AND RETURN DUCTS AT NEAREST SOURCE ABOVE CEILING.
- J. REMOVE ALL EXISTING PLUMBING FIXTURES, FITTINGS AND PIPING AS SCHEDULED FOR DEMOLITION AND AS REQUIRED BY PARTITION DEMOLITION AND NEW CONSTRUCTION. MODIFY EXISTING PIPING AS REQUIRED BY NEW CONSTRUCTION. CAP OFF AT WET STACK.
- K. REMOVE EXISTING FLOOR FINISHES SCHEDULED FOR REMOVAL AND AS REQUIRED BY PARTITION DEMOLITION AND NEW CONSTRUCTION. REMOVE ALL CONSTRUCTION DEBRIS FROM AREA. REPAIR ALL ADJACENT DAMAGED SURFACES, AS NECESSARY. PREPARE ALL DAMAGED SURFACES FOR FINISHES AS SCHEDULED BY PARTITION DEMOLITION AND NEW CONSTRUCTION. MATCH EXISTING FINISHES. REPLACE DAMAGED CEILING GYPSUM. REPAIR OR REPLACE DAMAGED CEILING GYPSUM.
- L. PROVIDE A SMOOTH HEAT CONTINUOUS APPEARANCE WHERE DEMOLITION MEETS ADJACENT EXISTING WORK. REMOVE EXISTING FINISHES AS REQUIRED TO PROVIDE NEAT STRAIGHT EDGES AND TRANSITIONS BETWEEN EXISTING AND NEW FINISHES.
- M. REPLACE OR RELOCATE, IN ACCORDANCE WITH LOCAL CODES, ALL FIRE SUPPRESSION AND FIRE ALARM EQUIPMENT DISTURBED BY DEMOLITION WORK. MAINTAIN THE SAFETY OF FIRE SUPPRESSION AND FIRE ALARM SYSTEMS.
- N. IN THE CASE THAT THE EXISTING CABLE USE, PHONE LINE & FLOOR, T.V. LINE AND DATA CABLES ARE PRESENT, G.C. SHALL GATHER AND REWORK TO FACILITATE NEW INSTALLATION.

LEGEND

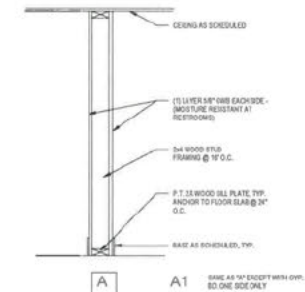
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- PORTION OF CEILING FINISHES TO BE REMOVED. VERIFY ALL PORTIONS CAN BE REMOVED OR RELOCATED.



Rehab Project for:
RUDY'S SMOKEHOUSE
111W. WATER STREET, TROY, OH 45373

ISSUED / REVISION	DATE
Issued for Permitting	8.19.2020
BULLETIN 1	9.30.2020
BULLETIN 2	7.15.2020

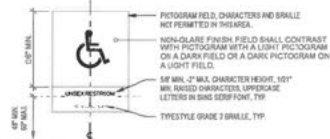
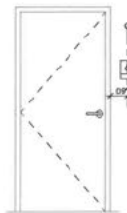
DEMOLITION FLOOR PLAN
1ST FLOOR
D-1.0



5 WALL TYPES

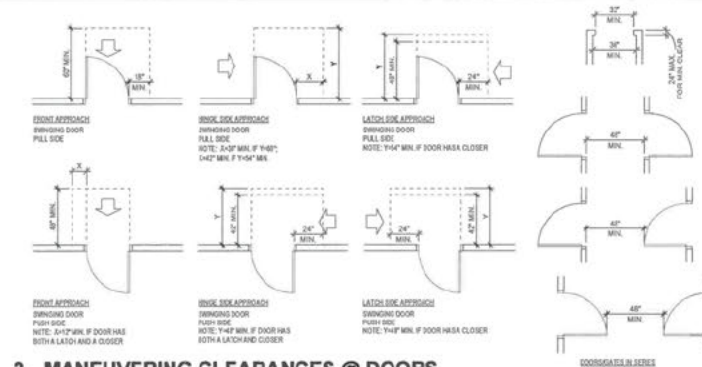
NOTES: LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED, CONTRASTING IN COLOR, AND HAVE A WIDTH-TO-HEIGHT RATIO WHERE THE UPPERCASE "O" IS 3/8\" data-bbox="189 464 311 500"/>

WHERE PERMANENT SIGNAGE IS PROVIDED FOR ROOMS AND SPACES, SIGNAGE AS DESCRIBED ABOVE SHALL BE PROVIDED ON THE STRIKE SIDE OF THE DOOR.



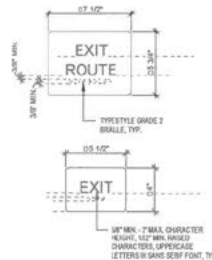
4 ACCESSIBLE SIGNAGE @ RESTROOMS

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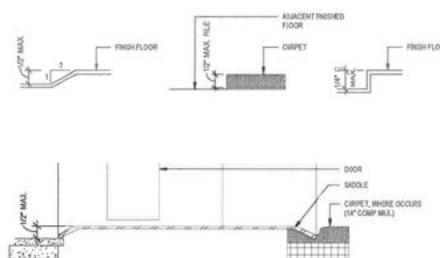
3 MANEUVERING CLEARANCES @ DOORS

1/4\" data-bbox="570 662 603 670"/>



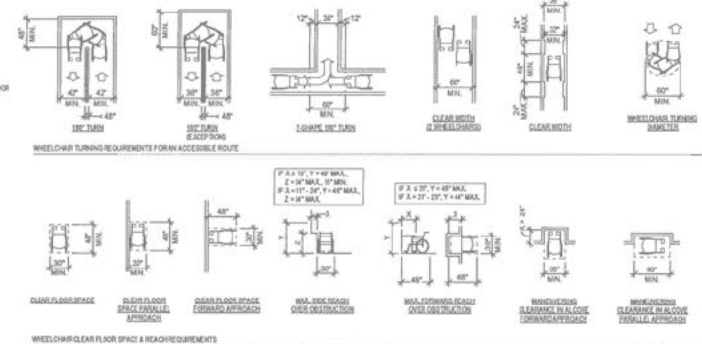
2 TACTILE EGRESS SIGNS

1/2\" data-bbox="179 886 212 895"/>



1 ACCESSIBLE ROUTE

1/8\" data-bbox="365 886 398 895"/>



Rehab Project for:
RUDY'S SMOKEHOUSE
111 W. WATER STREET, TROY, OH 45373

MT STUDIO PROJECT NUMBER: 24094

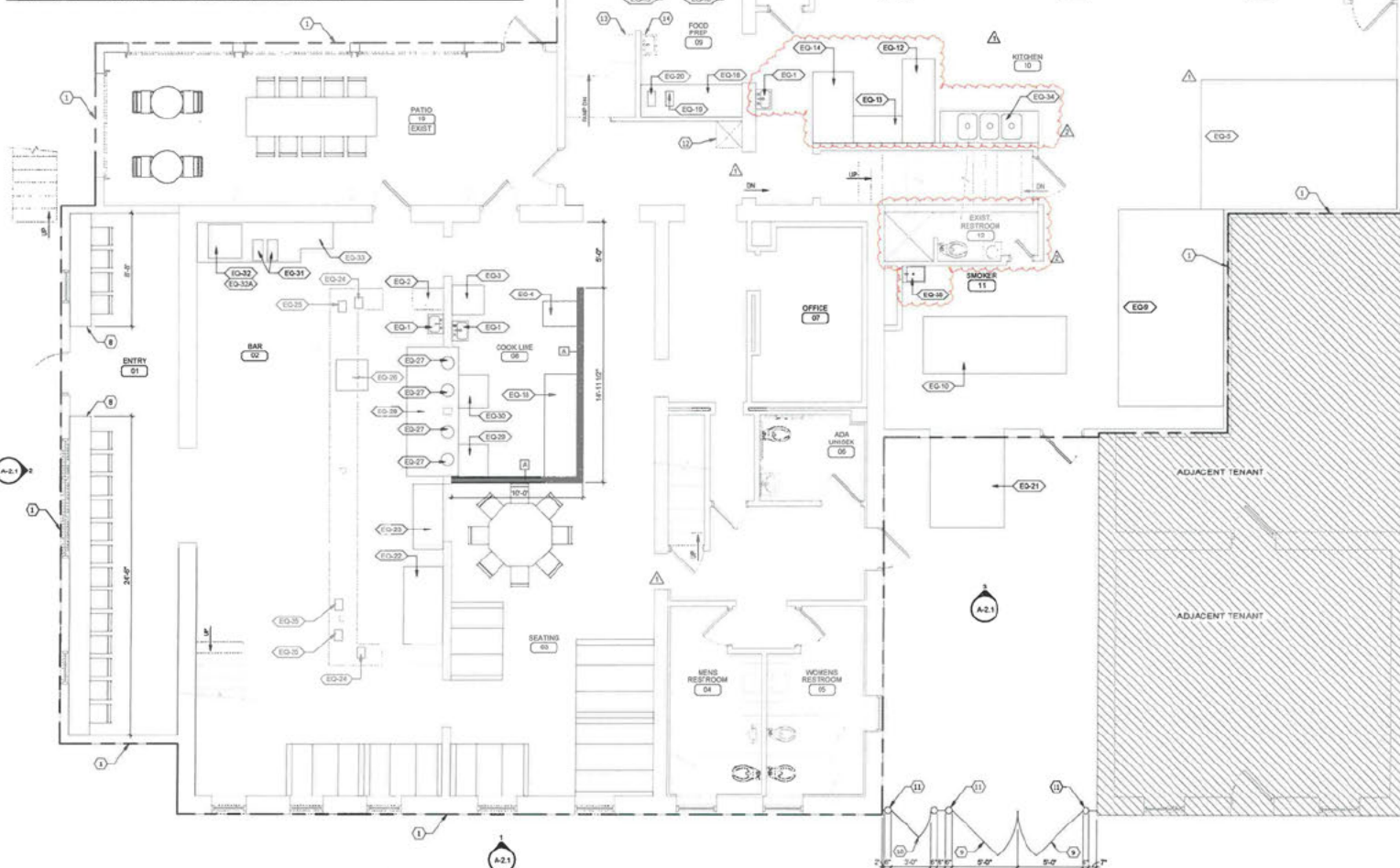
ISSUED / REVISED DATE
Issued for Permitting 6.19.2024
COLLECTION 6.19.2024

DOOR
SCHEDULE
AND
DETAILS

A-0.1

MARK	QTY	DESCRIPTION	PROVIDED BY	INSTALLED BY	SIZE	REMARKS
EQ-1	4	WINE BAR	OWNER	GC		
EQ-2	1	SHELF ABOVE BAR	OWNER	GC		
EQ-3	1	BANKING REFRIGERATOR	OWNER	GC	7'4" X 3'2"	
EQ-4	3	COOLERS	OWNER	GC	2'2" X 2'4"	
EQ-5	1	PREP COOLER	OWNER	GC	5'0" X 2'10"	
EQ-6	1	SHELF FOR STORAGE	OWNER	GC	2'2" X 2'4"	
EQ-7	1	FRIDGE/ICE COOLER	OWNER	GC	2'2" X 2'4"	
EQ-8	1	NOT USED				
EQ-9	1	MEAT COOLER	OWNER	GC	5'0" X 2'10"	
EQ-10	1	SS TABLE	OWNER	GC	2'2" X 2'4"	
EQ-11	1	NOT USED				
EQ-12	1	SS TABLE AND BENCH	OWNER	GC	2'2" X 2'4"	
EQ-13	1	SS TABLE	OWNER	GC	2'2" X 2'4"	
EQ-14	1	SS TABLE	OWNER	GC	2'2" X 2'4"	
EQ-15	2	NATURAL OVER	OWNER	GC	2'2" X 2'4"	
EQ-16	1	AUDIO PRO	OWNER	GC	2'2" X 2'4"	
EQ-17	1	NOT USED				
EQ-18	1	FOOD PROCESSOR	OWNER	GC	2'2" X 2'4"	
EQ-19	1	BLENDER	OWNER	GC	2'2" X 2'4"	
EQ-20	1	WASHER	OWNER	GC	2'2" X 2'4"	
EQ-21	1	WASHER	OWNER	GC	2'2" X 2'4"	
EQ-22	1	WASHER	OWNER	GC	2'2" X 2'4"	

MARK	QTY	DESCRIPTION	PROVIDED BY	INSTALLED BY	SIZE	REMARKS
EQ-23	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-24	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-25	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-26	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-27	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-28	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-29	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-30	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-31	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-32	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-33	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-34	1	WINE BAR	OWNER	GC	2'2" X 2'4"	
EQ-35	1	WINE BAR	OWNER	GC	2'2" X 2'4"	



01 FLOOR PLAN
1/4" = 1'-0"

- ### SHEET NOTES
- LEASE LINE INDICATES EXTENT OF WORK
 - NOT USED
 - NOT USED
 - ACCESSIBLE WATER CLOSET
 - NOT USED
 - NOT USED
 - NOT USED
 - NEW WALL HUNG BAR TOP
 - OWNER SHALL PROVIDE NEW WOOD PLANKS OWNER PROVIDED AND OWNER INSTALL. PROVIDE LOCKABLE LATCH. DAILY WIPER DATE FINISH WOOD PLANKS OWNER PROVIDED AND OWNER INSTALL. PROVIDE FINISH HARDWARE FOR EMERGENCY EXIT.
 - GOING IN/OUT OF SIDE GATE POST (PAINT BLACK) OWNER PROVIDES AND OWNER INSTALL.
 - EXISTING MOP SINK TO REMAIN IN ITS ENTIRETY.
 - EXISTING VEGETABLE SINK TO REMAIN IN ITS ENTIRETY.
 - EXISTING HAND SINK TO REMAIN IN ITS ENTIRETY.

- ### GENERAL NOTES
- ALL WALLS ARE TO BE PAINTED UNLESS NOTED OTHERWISE. ALL DRYWALL WALLS ARE TO BE FINISHED TO A LEVEL FOUR (4) DRYWALL FINISH AND PAINTED WITH ONE (1) COAT OF PRIMER AND TWO (2) FINAL COATS OF PAINT PER FINISH SCHEDULE.
 - THE GC SHALL COORDINATE ALL FINISHES COLORS WITH THE OWNER PRIOR TO INSTALLATION.
 - ALL INTERIOR DIMENSIONS ARE FROM FACE OF NEW FINISH WALL. ALL EXTERIOR DIMENSIONS ARE FROM FACE OF MASONRY.
 - ALL DOOR JAMBS ARE 4" TYPICAL, UNLESS NOTED OTHERWISE.
 - THE GENERAL CONTRACTOR AND THE ELECTRICAL SUBCONTRACTOR SHALL COORDINATE THE LIGHTING, SWITCHING, AND POWER DISTRIBUTION REQUIREMENTS WITH THE OWNER PRIOR TO INSTALLATION.
 - GENERAL CONTRACTOR TO LAY OUT ALL PARTITIONS & FIXTURES AS SHOWN ON THE DRAWINGS & VERIFY DIMENSIONS PRIOR TO STARTING WORK.
 - ALL MATERIALS AND WORK TO MEET ALL LOCAL CODES AND ORDINANCES. PROVIDE WOOD OR METAL STRAP BRACING FOR ALL WALL SUPPORTED PARTIES WITHIN WALLS AND ABOVE CEILING LINE AS REQUIRED.
 - CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK. ARCHITECT WILL NOT BE LIABLE FOR ANY ERRORS AND OMISSIONS NOT REPORTED BY GENERAL CONTRACTOR.
 - DRAWING SCALE SHOWN FOR REFERENCE. IF SHOWN DIMENSION DOES NOT COORDINATE WITH IDENTIFIED SCALE, CONTACT ARCHITECT PRIOR TO ASSOCIATED WORK.
 - THROUGH PENETRATIONS OF FIRE-RESISTANCE RATED WALLS SHALL COMPLY SECTION 7123.1 AND SHALL BE PROTECTED BY AN APPROVED FIRESTOP SYSTEM 713.3.1.2 UNLESS APPLICABLE. PROVIDE APPROVED FIRE DAMPERS IN FIRE WALLS AND FIRE BARRIERS PER SECTION 714.5.
 - PROVIDE A PORTABLE FIRE EXTINGUISHER DURING CONSTRUCTION AS REQUIRED BY THE FIRE PREVENTION OFFICIAL AND SECTION 906.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PLACE FIRE EXTINGUISHERS THROUGHOUT THE BUILDING PER LOCAL CODE REQUIREMENTS AND FIRE MARSHAL DIRECTION.
 - ALL PAINTING SHALL CONSIST OF ONE COAT OF PRIMER AND TWO COATS OF FINISH PAINT.

- ### LEGEND
- EXISTING INTERIOR WALL
 - NEW INTERIOR WALL AS SCHEDULED
 - NEW DOOR
 - EXISTING DOOR
 - WALL TAG, SEE WALL TYPES
 - WINDOW TAG
 - DOOR TAG



Rehab Project for:
RUDY'S SMOKEHOUSE
111W. WATER STREET, TROY, OH 45373

ISSUED / REVISED	DATE
Issued for Permit	6.19.2024
REVISION 1	6.30.2024
REVISION 2	7.13.2024

FLOOR PLAN

A-1.0

SHEET NOTES

1. EXISTING CEILING GRID SYSTEM TO REMAIN WITH EXISTING HANGERS/CEILING TILES TO REMAIN.
2. EXISTING CEILING GRID SYSTEM TO REMAIN, REPLACE CEILING TILES WITH ACT-1.
3. EXISTING MECHANICAL SYSTEMS TO REMAIN.
4. EXISTING LIGHTS TO REMAIN.
5. NEWLIGHTS IN EXISTING GRID, SEE ELECTRICAL DRAWINGS.
6. NO NEW CEILING WORK IN THIS AREA.

GENERAL NOTES

- A. SEE FINE PRINTING FOR ADDITIONAL HANGING AND LIGHTING INFORMATION.
- B. CEILING GRID TO BE SUPPORTED FROM STRUCTURE ABOVE. IF GRID SUPPORTS ARE BLOCKED BY UTILITIES ABOVE, THREE-TYPE SUPPORTS TO BE CONSTRUCTED FROM STRUCTURE TO GRID BLOCKS.

LEGEND

ROOM NAME	(ROOM NAME)
101	(ROOM NUMBER)
ACT-1	(CEILING TYPE)
8'-0"	(CEILING HEIGHT) (FINISH WHEN OPEN CEILING)
	ACT-1 24"X24" LAY IN CEILING TILE USED - CLEAN ROOM CLAMP PLUS (R0001) EXCLUDE TAIL, PLUG
	GYP. BOARD CEILING WITH WASHABLE PAINT (PT-1)
	2x4 LED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
	6" GAS LIGHTS
	HEAT LAMP, SEE EQUIPMENT SCHEDULE
	EXTERIOR DOWNBENCH LIGHT FIXTURE (2ND FLOOR), SEE ELECTRICAL DRAWINGS
	EXISTING WALL SCONCE TO REMAIN
	EXIT SIGN AND EMERGENCY HEADS, SEE ELECTRICAL DRAWINGS
	EMERGENCY LIGHT W/ 1 1/2 HOUR BATTERY BACKUP, SEE ELECTRICAL DRAWINGS



Rehab Project for:
RUDY'S SMOKEHOUSE
 111W. WATER STREET TROY, OH 45373
 MT STUDIO PROJECT NUMBER: 34094

ISSUED / REVISED	DATE
Issued for Permit	6.19.2020
CHALISTON	6.20.2020

REFLECTED
 CEILING
 PLAN

A-1.2



01 REFLECTED CEILING PLAN
 1/4" = 1'-0"



SHEET NOTES

- 1 EXISTING BRICK TO REMAIN.
- 2 EXISTING SCOVE TO REMAIN.
- 3 EXISTING DOOR TO REMAIN.
- 4 EXISTING OVERHEAD DOOR TO REMAIN.
- 5 EXISTING WINDOWS TO REMAIN.
- 6 EXISTING FURN AND SINKING TO REMAIN.
- 7 REMOVE PORTION OF LOAD BEARING MASONRY WALL, SEE STRUCTURAL COMPANY.
- 8 SCOD FOR EXTERIOR SIGN (OWNER PROVIDED) AND INSTALLED BY CONTRACTOR, FASTENED TO EXISTING MASONRY FOR SIGNAGE.
- 9 NOT USED.
- 10 EXTERIOR SIGNAGE (OWNER PROVIDED, INSTALLED BY CONTRACTOR).
- 11 GALV. STEEL GATE FRAME W/ WOOD PLAINS (OWNER PROVIDED) AND OWNER INSTALLED.
- 12 CONE, FLEED # ON 1/2" STEEL GATE POST (PINT BLACK) OWNER PROVIDED AND OWNER INSTALLED.
- 13 NEW GOOSE NECK LIGHT FIXTURE BY OWNER, REFER TO ELECTRICAL SPECIFICATIONS.
- 14 EXISTING WALL SCOVE TO REMAIN.



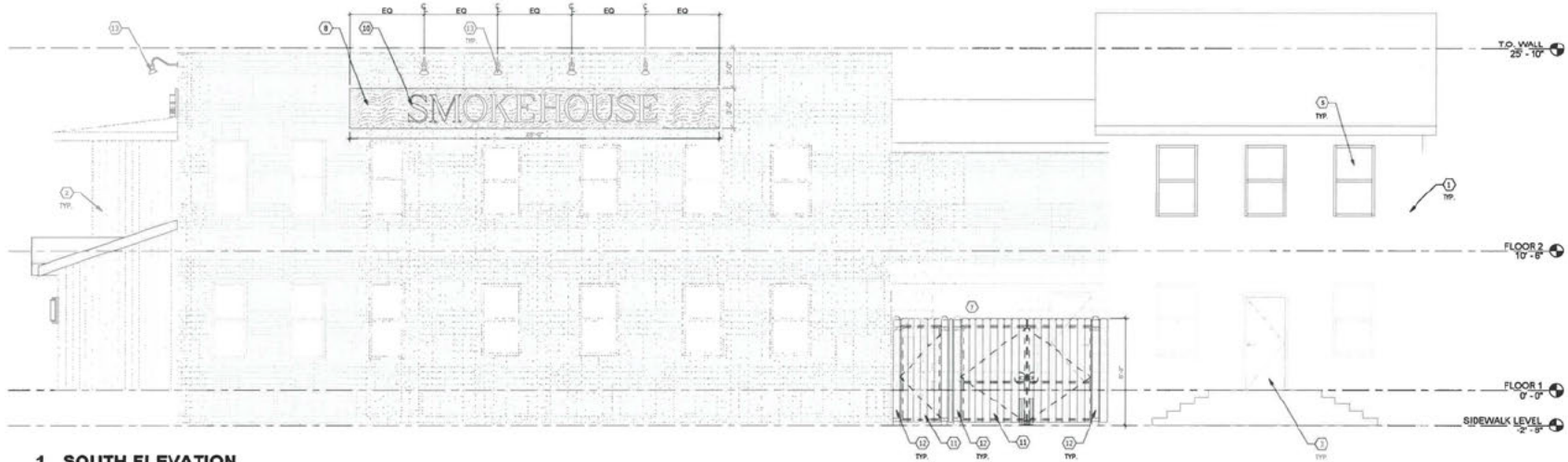
Rehab Project for:
RUDY'S SMOKEHOUSE
111 W. WATER STREET, TROY OH 45373

MT STUDIO PROJECT NUMBER: 34094

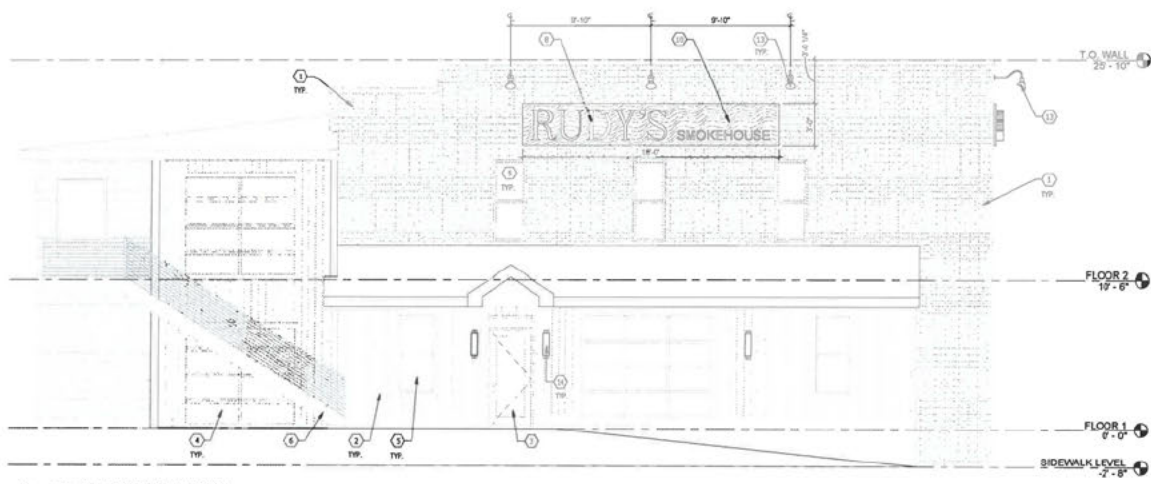
ISSUED / REVISED	DATE
Issued for Permitting	6.19.2020
SHALISTIN	6.30.2020

EXTERIOR ELEVATIONS

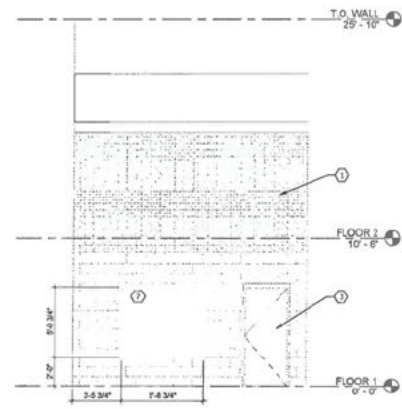
A-2.1



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"

THE DISTRIBUTION SHALL MATCH, COMPLETELY, WITH TABLE 4.01. FOR THE CURRENT EDITION OF THE CHAS PLUMBING CODE.

ALL HORIZONTAL WATER PIPING SHALL FOLLOW IN COMPLIANCE WITH TABLE 7.1 OF THE CURRENT EDITION OF THE CHAS PLUMBING CODE.

INSTALL ALL HORIZONTAL WATER PIPING WITH SLOPE.

INCLUDE MOUNTING BRACKETS FOR ALL MOUNTED FITTINGS.

ALL MOUNTED PIPING SHALL COMPLY WITH SECTION 7.02 OF THE CURRENT EDITION OF THE CHAS PLUMBING CODE.

PROVIDE VERTICAL HANGERS (CHUCK WALKER HANGERS) TO SUPPORT VERTICAL VESSELS. VESSELS HANGERS ARE REQUIRED BY THE CURRENT EDITION OF THE CHAS PLUMBING CODE.

THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PLUMBING INSPECTORS FOR ALL REQUIRED INSPECTIONS.

PROVIDE TIE-ROD PROTECTION DEVICES WHERE REQUIREMENT.

PROVIDE FUTURE SHUT OFF VALVES FOR EACH FLOOR.

PIPE UNDER MEATS MUST BE DRUM DOWN TO LOCAL DRUM PROVIDE 2" AIR GAP.

ALL WATERLINES ARE BASED ON A FLOOR OF FEET PER FLOOR.

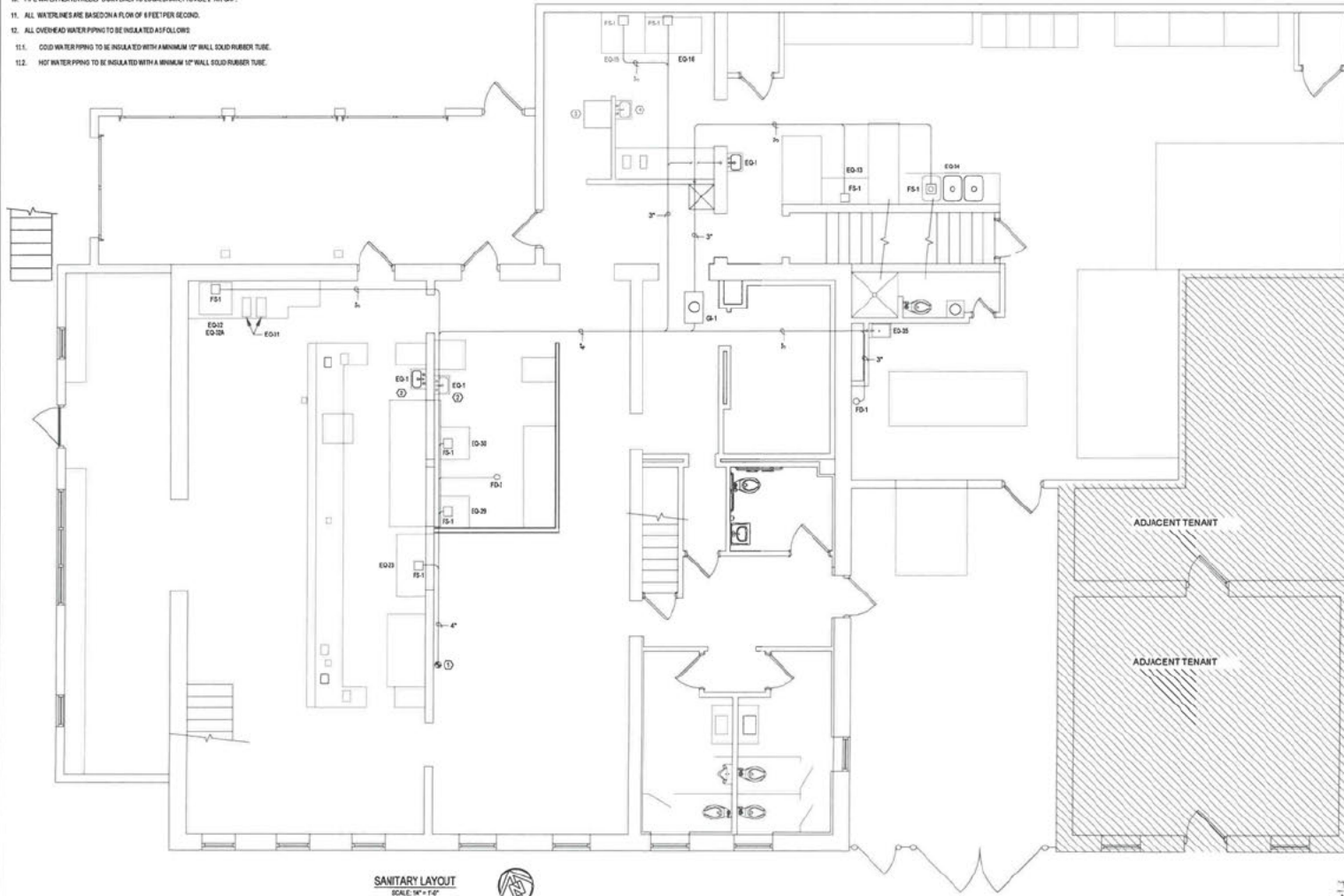
ALL OVERHEAD WATER PIPING TO BE INSULATED AS FOLLOWS

COLD WATER PIPING TO BE INSULATED WITH AN MINIMUM 1" WALL SOLID RUBBER TUBE.

HOT WATER PIPING TO BE INSULATED WITH A MINIMUM 1" WALL SOLID RUBBER TUBE.

_____ SMI _____ PNC (ANTLEY PING, DIED AS SHOWN)

1. CONNECT TO EXISTING SANITARY AT THIS LOCATION.
2. NEW ED-1 ON EXISTING ROUGH, MINOR REWORK MAY BE REQUIRED.
3. EXISTING VEGETABLE PREP SINK.
4. EXISTING HAND SINK.



SANITARY LAYOUT
SCALE: 1/4" = 1'-0"

Michael J Bruns 07/14/2026
MICHAEL J. BRUNS DATE:

Brun Consulting
120 RATONS ROAD FT. RECOVERY, OH 44130
PHONE: 419-442-2447 EMAIL: info@brunconsulting.com

Sarver
PLUMBING INC.

7113 Alternate State Route 19, Arcanum, Ohio 45004
(937) 947-2200

REDUAS PROJECT FOR:

RUDY'S SMOKEHOUSE

Miami County
111 W. Water St
Troy, OH 45373

LEVEL
ΠΒ
CONSTRUCTION

Revisions

Project No.:	Project No
Date:	6/17/26
Drawing No.:	Drawing No
Drawn By:	SP1
Sheet Title:	

SANITARY LAYOUT

P-1.0



THE DISTRIBUTION PIPING SHALL COMPLY WITH TABLE 604 OF THE CURRENT EDITION OF THE OHIO PLUMBING CODE.

ALL HORIZONTAL WATER PIPING SHALL BE IN COMPLIANCE WITH TABLE 708.1 OF THE CURRENT EDITION OF THE OHIO PLUMBING CODE FOR THE FOLLOWING CODE:

INCLUDE ALL HORIZONTAL WATER PIPEWORK LEVEL.

INCLUDE MOUNTING BRACKETS FOR ALL MOUNTED UTILITIES.

ALL SANITARY PIPING SHALL COMPLY WITH SECTION D202 OF THE CURRENT EDITION OF THE OHIO PLUMBING CODE.

PROVIDE VIBRATION DAMPERS ON HOT WATER AND COLD WATER HEATING SYSTEMS VALVES WHERE REQUIRED BY THE CURRENT EDITION OF THE OHIO PLUMBING CODE.

IF A LISTING CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PLUMBING INSPECTORS FOR ALL REQUIRED INSPECTIONS.

PROVIDE WAP ASL PROTECTION DEVICES WHERE REQUIRED BY CODE.

PROVIDE FLOOR/DRAIN OFF PROVISIONS FOR EACH FURNACE.

PIPE ENTER HEAT EXCHANGER BRAIN LINE TO LOCAL DRAIN PROVIDE 2" AIR GAP.

ALL OVERHEAD RISES BASED ON A FLOW OF FEET PER SECOND.

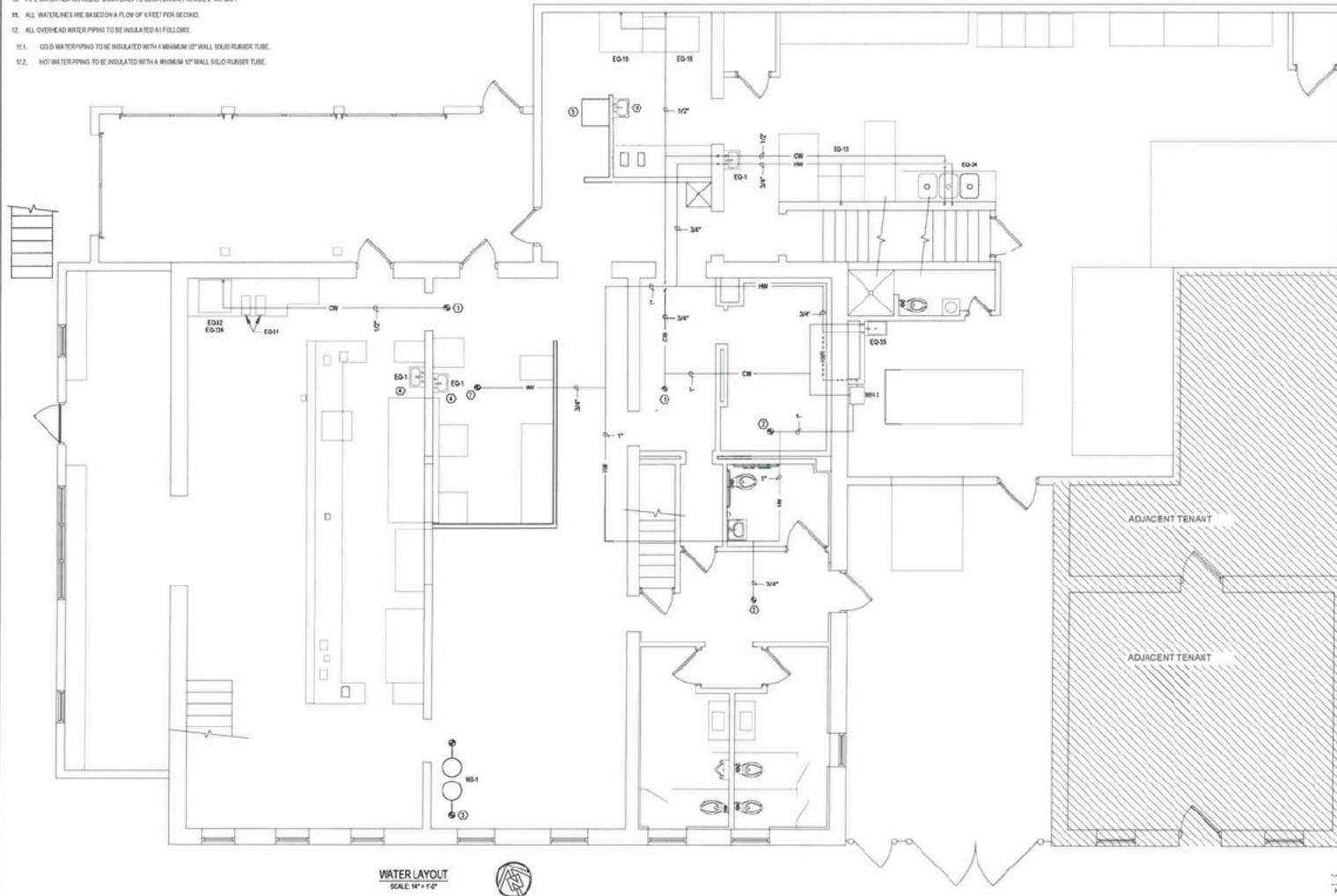
ALL OVERHEAD WATER PIPING TO BE INDICATED AS FOLLOWS:

COLD WATER PIPING TO BE INDICATED WITH AN ARROWHOLE OF SIZED SLIDER TUBE.

HOT WATER PIPING TO BE INDICATED WITH A MINIMUM 1/2" SIZED SLIDER TUBE.

 CW COLD WATER PIPING, SIZED AS SHOWN.
 HW HOT WATER PIPING, SIZED AS SHOWN.
 HWR HOT WATER RETURN PIPING, SIZED AS SHOWN.

1. CONNECT TO EXISTING COLD WATER AT THIS LOCATION.
2. RECONNECT TO EXISTING HOT WATER AT THIS LOCATION.
3. CONNECT TO COLD WATER FOR WATER SOFTENER AT THIS LOCATION.
4. NEW ED-1 ON EXISTING ROUGH. MINOR NETWORK MAY BE REQUIRED.
5. EXISTING VEGETABLE PREP SINK.
6. EXISTING HAND SINK.



Michael J Bruns 07/14/2026
MICHAEL J. BRUNS DATE:



Brun Consulting

Sarver
PLUMBING INC.

7713 Altamonte Drive Route 19 Arcadium, Ohio 43204

(937) 947-2200

REHAB PROJECT FOR:

RUDY'S SMOKEHOUSE

Miami County
111 W. Water St
Troy, OH 45373

LEVEL
ΠΒ
CONSTRUCTION

REVISIONS

Project No:	Project No
Date:	6/17/25
Drawing No:	Drawing No
Drawn By:	gdi
Sheet Title:	

WATER LAYOUT

P-1.1

GAS PIPING NOTES

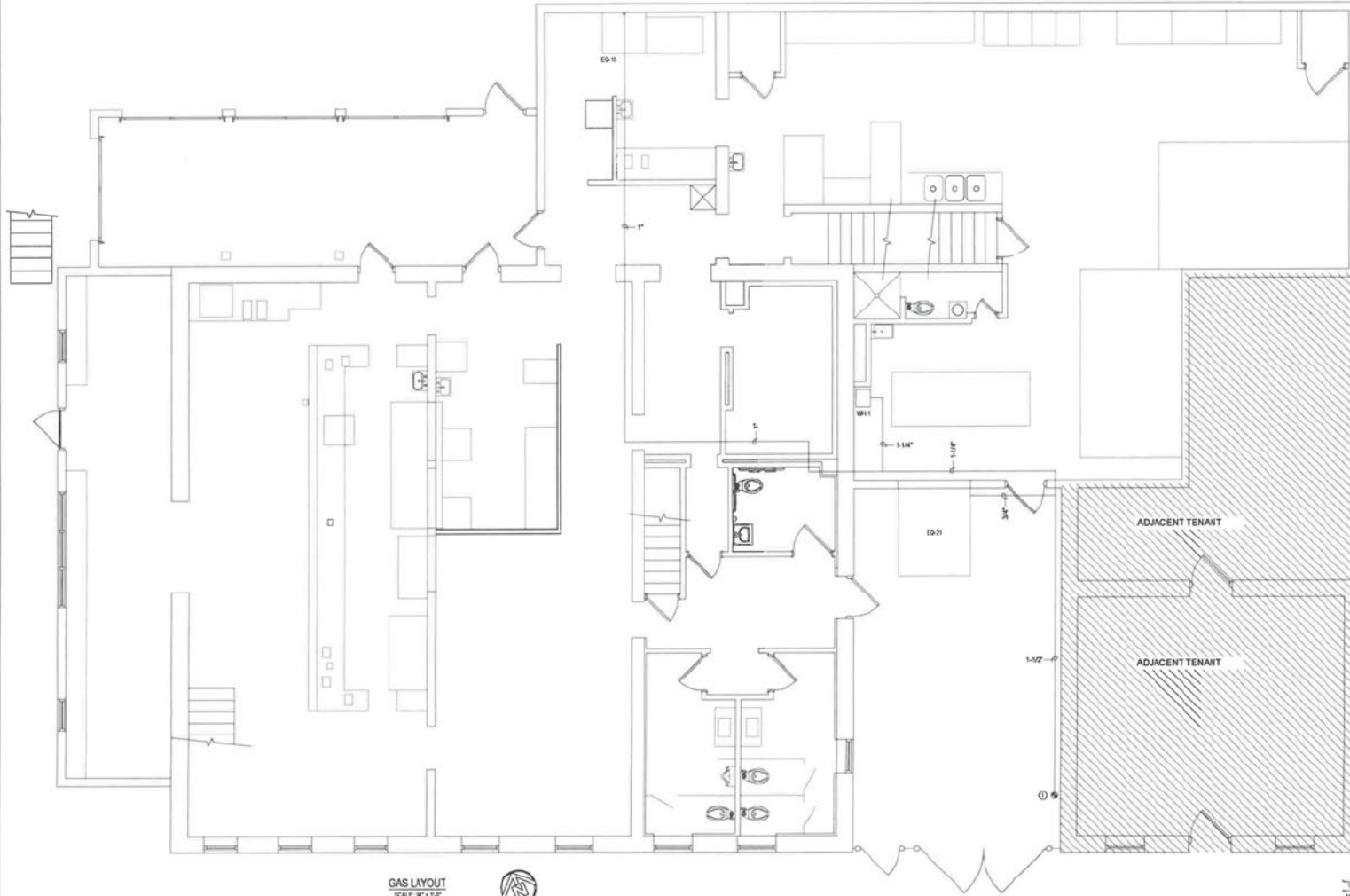
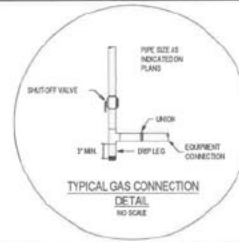
- TOTAL BTU 417,000
 - TOTAL DEVELOPED LENGTH 187'
 - PIPING SIZED FOR LESS THAN 10 PSI WHEN IN W.C. DROP AS PER 2021 IFGC TABLE 402.4(2)
 - PIPING TO BE BLACK IRON, ROOTED BELOW ROOF.
- | | |
|-------|---------------|
| EQ-15 | = 132,000 |
| EQ-21 | = 80,000 |
| WELL | = 205,000 |
| TOTAL | = 417,000 BTU |

PLUMBING LEGEND

— GAS — GAS PIPING, SIZED AS SHOWN

KEY NOTES

- CONNECT TO EXISTING GAS METER AND EXTEND TO NEW GAS-FIRED EQUIPMENT.



GAS LAYOUT
SCALE: 1/4" = 1'-0"



Michael J. Bruns 07/14/2025
MICHAEL J. BRUNS DATE



Bruns Consulting
2109 MAIN ST. #117 REVERSH, OHIO 43081
PH: 614.292.2427 FAX: 614.292.2428

Sarver PLUMBING INC.
2033 Starwood Drive, Akron, Ohio 44304
(330) 947-2200

REBAR PROJECT FOR
RUDY'S SMOKEHOUSE
Miami County
111 W. Main St.
Troy, OH 45073

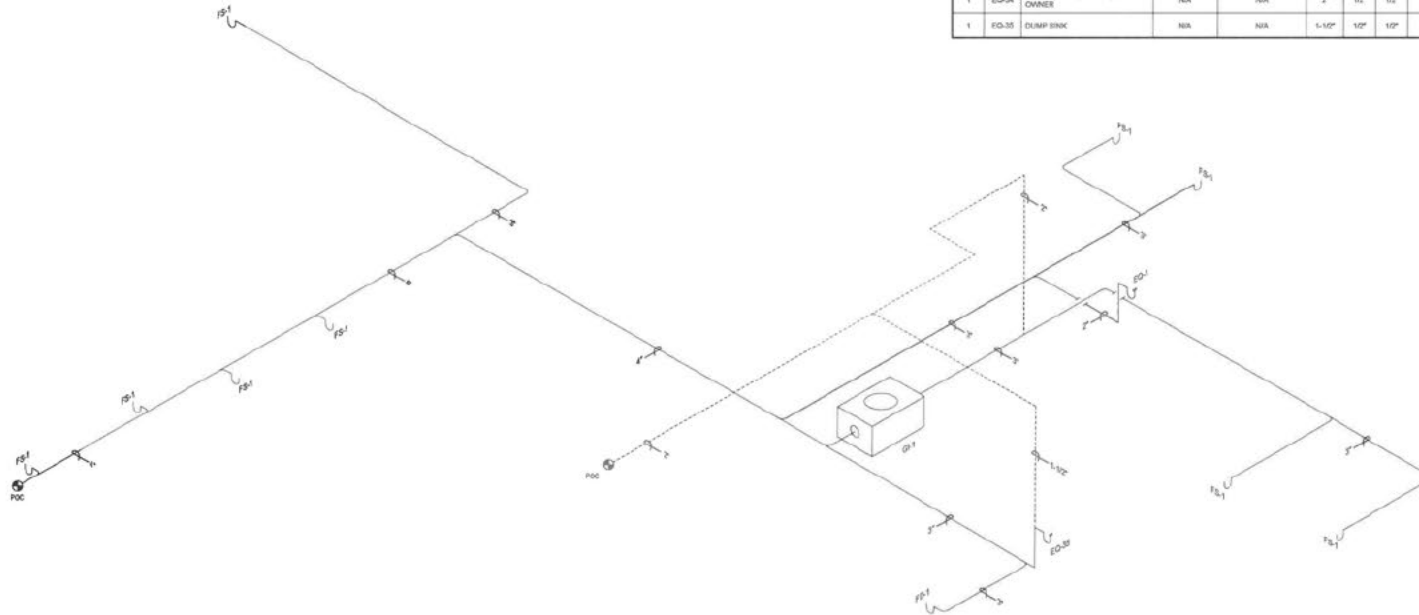
LEVEL MB
CONSTRUCTION

REVISIONS

Project No.: Project No.
Date: 6/17/20
Drawing No.: Drawing No.
Drawn By: SPH
Sheet Title:

GAS LAYOUT

P-1.2



SANITARY DIAGRAM
NO SCALE

PLUMBING FIXTURE SCHEDULE

QTY.	TAG	DESCRIPTION	MFG.	MODEL#	DRAIN	CW	HW	GAS	TRIM
1	FD-1	PVC FLOOR DRAIN	SILOX CHIEF	832-36PWR	3"	-	-	-	NICKEL BRONZE STRAINER, SURE SEAL TRAP/SEAL
5	FS-1	PVC FLOOR SINK	SILOX CHIEF	861-3P2	3"	-	-	-	1/2 GRATE
1	GI-1	GREASE INTERCEPTOR	SOHER	GS-2	3"	-	-	-	
1	WH-1	TANKLESS WATER HEATER	NAVEN	HPE-2402	1/2"	3/4"	3/4"	1"	TANKLESS VALVE SET, XTS THERMAL EXPANSION TANK
1	WS-1	WATER SOFTENER	STERLING	PDMX65	1/2"	1"	-	-	
1	EQ-1	HAND SINK, BY OWNER	N/A	N/A	1-1/2"	1/2"	1/2"	-	
1	EQ-13	DISH MACHINE, BY OWNER	N/A	N/A	2"	-	3/4"	-	
1	EQ-15	COMBI-OVEN, BY OWNER	N/A	N/A	2"	1/2"	-	1"	
1	EQ-16	iVARIO PRO, BY OWNER	N/A	N/A	2"	1/2"	-	-	
1	EQ-21	SMOKER, BY OWNER	N/A	N/A	-	-	-	3/4"	
1	EQ-23	STEAM TABLE, BY OWNER	N/A	N/A	1/2"	-	-	-	
1	EQ-29	STEAM TABLE, BY OWNER	N/A	N/A	1/2"	-	-	-	
1	EQ-30	STEAM TABLE, BY OWNER	N/A	N/A	1/2"	-	-	-	
2	EQ-31	TEA MAKER, BY OWNER	N/A	N/A	-	1/4"	-	-	
1	EQ-32	FOUNTAIN, BY OWNER	N/A	N/A	3"	1/2"	-	-	
1	EQ-33A	ICE MAKER, BY OWNER	N/A	N/A	2"	3/8"	-	-	
1	EQ-34	3-COMPARTMENT SINK, BY OWNER	N/A	N/A	2"	1/2"	1/2"	-	
1	FD-35	DUMP SINK	N/A	N/A	1-1/2"	1/2"	1/2"	-	



Michael J. Bruns 07/14/2025
MICHAEL J. BRUNS DATE:

Bruns Consulting
100 MINING ROAD, IT RECORDS ONE G46
PHOTO: 1-800-441-1100, info@brunsc.com

Sarver PLUMBING INC.
713 Mainville State Route 88, Arcanum, Ohio 45304
(937) 943-2200

REBAR PROJECTOR:
RUDY'S SMOKEHOUSE
Miami County
111 W. Water St.
Troy, OH 45323

LEVEL MB
CONSTRUCTION

REVISIONS

Project No.	Project No.
Date:	07/14/2025
Drawing No.	Drawing No.
Drawn By:	SP1
Sheet Title:	SANITARY ISOMETRIC AND FIXTURE SCHEDULE

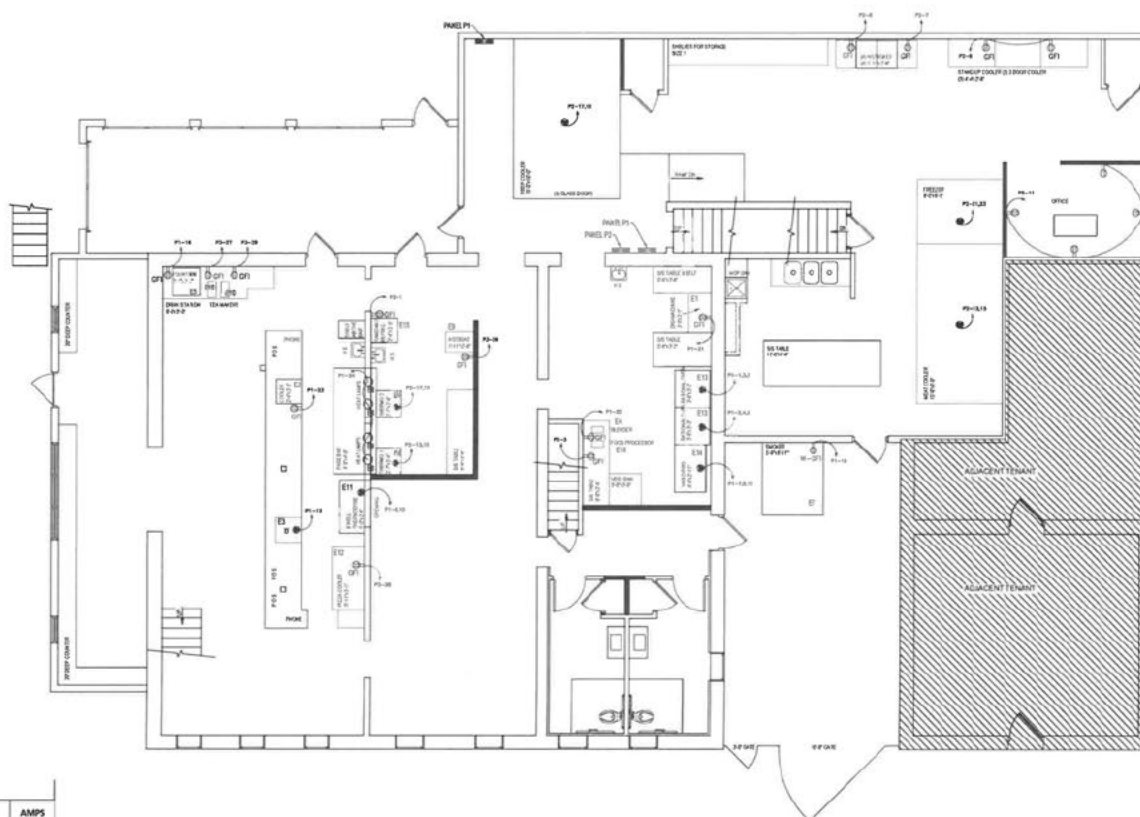
P-1.3

ELECTRICAL NOTES

- [illegible]

- THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE, FROM THE UTILITY CO., THE AVAILABLE SHORT CIRCUIT CURRENT AT THE CONNECTION TO THE TRANSFORMER. PROVIDE EQUIPMENT HAVING A SHORT CIRCUIT CURRENT CAPABILITY GREATER THAN THE AVAILABLE SHORT CIRCUIT CURRENT.
- REAL ALL EXTERNAL DEVICES PENETRATED BY WIRING AND RACEWAYS.
- PROVIDE ALL FRAMING AND STRUCTURAL SUPPORT NECESSARY FOR ELECTRICAL WIRETRAIL DEVICES, EQUIPMENT, AND FITTINGS.
- RACEWAYS & WIRING SHALL BE INSTALLED PARALLEL TO BUILDING LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING RACEWAY SIZES AND QUANTITIES AND FOR DETERMINING UNDERGROUNDING AND ALL ASPECTS OF RACEWAYS IN ACCORDANCE WITH THE SPECIFICATIONS. PROVIDE CONDUIT FOR ALL GROUPED AND CONDUIT, CONDUCTING UNLESS SPECIFICALLY NOTED OTHERWISE.
- BOXES SHALL BE UNPAINTED STEEL. DEVICES, COVER PLATES & SWITCHES AND RECEPTABLES SHALL BE WHITE OR MORT COLOR OF THE OWNER.
- EXTERNAL ELECTRICAL WIRING AND DEVICES SHALL BE HOUSED IN RASIN TYPE RIGIDOLUBLE CONDUIT.
- GROUND ALL SYSTEMS, INCLUDING SEPARATELY DERIVED SYSTEMS, AS REQUIRED BY THE NEC.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL MATERIAL CONTROLS AND ACCESSORIES IN ACCORDANCE WITH THE SPECIFICATIONS AND TO BE PROVIDED WITH EQUIPMENT PROVIDED BY OTHER PRIME CONTRACTORS.
- INTERMEDIATE AND PANEL BOARD SHALL BE CRUISE BREAKER TYPE.
- UNDERGROUND RACEWAYS SHALL BE INSTALLED THICKET THE MINIMUM DEPTH SPECIFIED IN TABLE 805.6 OF THE NATIONAL ELECTRICAL CODE.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING ALL INSPECTING AUTHORITIES FOR PROPER ELECTRICAL INSPECTION.
- ALL ELECTRICAL WIRING AND MATERIALS SHALL BE INSTALLED ACCORDING WITH THE NATIONAL ELECTRICAL CODE AND THE SPECIFICATIONS.
- VERIFY AND OVERSEE THE LOCATIONS AND SELECTION OF ALL ELECTRICAL EQUIPMENT PRIOR TO INSTALLATION.
- ALL ELECTRICAL DITCHES AND WIRING POTENTIAL SHALL BE U.L. OR N.F.P. LISTED AND LABELED.
- INSTALL ALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN RECOMMENDATIONS AND IN ACCORDANCE WITH ALL CONVENTS OF THE I.E.C. OR DERIVATIVES.
- CONVENTION RECEPTACLE LOCATIONS ARE APPROXIMATE. RECEPTACLE SPACING SHALL BE INSTALLED IN ACCORDANCE WITH THE NEC AS WELL AS APPROVED BY THE OWNER.
- ELECTRICIAN SHALL VERIFY THAT ALL ATTACHMENT TO EXISTING PANELS SHALL NOT RESULT IN THE

LABEL #	NAME	QUANTITY	VOLTAGE	PHASE	HP	AMPS
E1	DISHWASHER	1	115	1	80	
E2	TOP MOUNT REFRIGERATOR	1	115	1	5	
E3	1/2 BAKER	1	230	2	11	
E4	HR PLUNGER BLENDER	1	115	1	13	
E5	BEVERAGE DISPENSER	1	115	1	15	
E6	THEMODYNE	2	230	2	23	
E7	GAS WOOD BURNING PIT	1	115	1	20	
E8	HEAT LAMP	4	115	1	1	
E9	HEAT MELTING CABINET	1	115	1	15	
E10	TUB BLENDERS	4	115	1	1	
E11	5 POUND THEMODYNE	1	230	2	19	
E12	WELL REFRIGERATOR	1	115	1	25	
E13	Combi Cooker /Steamer	1	230	2	108	
E14	Vario /Iron / Cooling	1	208	2	53	
E15	Top load "freezer" "Sandwich"	1	115	1	4	
E16	Food Processor	1	115	1	4	



 115 VOLT DUPLEX RECEPTACLE 18 A.F.F. UNLESS NOTED 115 VOLT DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER 115 VOLT WEATHERPROOF DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER	 240 VOLT DUPLEX RECEPTACLE 18 A.F.F. UNLESS NOTED
	 400A, 208/120V, 3Ø, 4Ø, C.T. MAIN DISCONNECT PANEL
	 400A, 208/120V, 3Ø, 4Ø, C.T. MAIN DISCONNECT PANEL
 100A, 208/120V, 3Ø, 4Ø, C.T. MAIN-LUG ONLY PANEL	 DISCONNECT, SIZE TO MATCH BREAKER

POWER PLAN _____ SHEET 1
LIGHTING PLAN _____ SHEET 2

POWER PLAN
SCALE: 3/16" = 1'-0"



ENGINEER
SPRING GONSKA, TIMO
2120 WATSON ROAD
FORT RECOVERY, OHIO 45846
ENGINEER MR. MICHAEL J. SPRING, P.E.
PHONE: (419) 852-2407

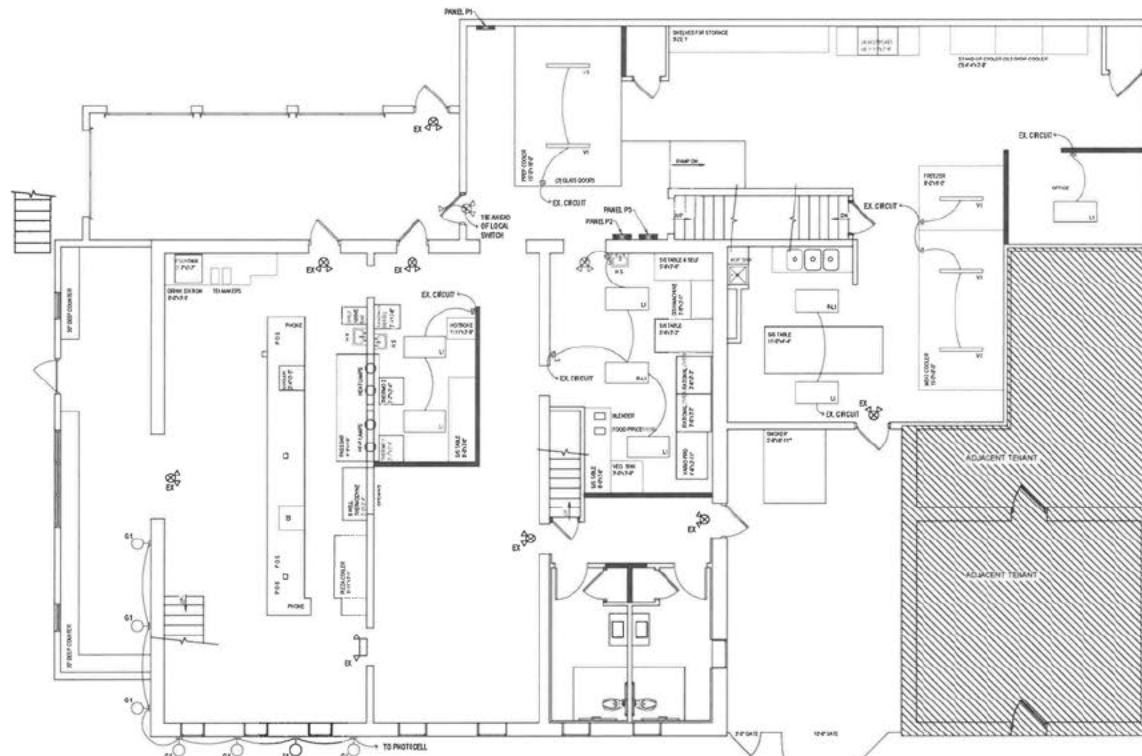
2120 WATKINS RD, FT. RECOVERY, OH 45846
(419) 852-2467

POWER PLAN
PROPOSED RENOVATIONS
RUDY'S SMOKEHOUSE

REVISIONS

Michael J. Burns (6/18/2028)

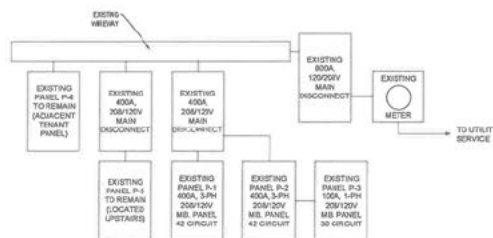
PRICE NO:		DWG NO:		SCALE: AS SHOWN	
DRAWN: MDS	CHECKED: MJB	DATE: 08-18-28		SHEET NO: 1 OF 2	



LIGHTING PLAN
SCALE: 3/16" = 1'-0"

LIGHTING LEGEND

- PROPOSED 115 VOLT WALL SWITCH
- PROPOSED 3-WAY 115 VOLT WALL SWITCH, W/REVERSE SWITCHING LAYOUT WITH DIMMER
- PROPOSED LIGHTED EXIT SIGN AND EMERGENCY HEAD WITH 1 HOUR BATTERY BACK-UP
- EXISTING EXIT SIGN AND EMERGENCY HEAD
- EXISTING EMERGENCY LIGHT
- PROPOSED REMOTE HEAD WITH 1 HOUR BATTERY BACK-UP
- PROPOSED 4-WAY TIGHT LIGHT OUTLINE
- PROPOSED LED 34 LAY IN LIGHT FIXTURE
- REPLACE EXISTING LIGHT WITH 34 LAY IN LIGHT FIXTURE
- PROPOSED GOODERICH LIGHT FIXTURE



EXISTING POWER RISER DIAGRAM
NO SCALE

PANEL: P-1

EXISTING MAIN DISCONNECT PANEL BRANCH BREAKERS

VOLTS: 208/120

NEC LOAD: LESS THAN 400A

AMPS: 400

PHASE: 3

NO.	LOAD DESCRIPTION	BRKR AMPS	POLE	LEFT PHASE (LOADING)			RIGHT PHASE (LOADING)			POLE	BRKR AMPS	LOAD DESCRIPTION	NO.
				A	B	C	A	B	C				
1	COMBINATION (E3)	150	3							3	150	COMBINATION (E3)	2
3		150	3							3	150		4
5		150	3							3	150		6
7	INBOARD FRYER (E4)	125	3							3	125	INBOARD FRYER (E3)	8
9		125	3							3	125		10
11		125	3							3	125		12
13	THERMO #1 (E1)	90	2							2	90	THERMO #2 (E1)	14
15		90	2							2	90		16
17	THERMO #2 (E1)	90	2							2	90	THERMO #3 (E1)	18
19		90	2							2	90		20
21	COMBINATION (E3)	150	3							3	150	COMBINATION (E3)	22
23	INBOARD FRYER (E4)	125	3							3	125	INBOARD FRYER (E3)	24
25	HO-BLENDER (E4)	20	3							3	20	ANGUL	26
27	EXISTING	20	1							1	20	KITCHEN REC	28
29	EXISTING	20	1							1	20	KITCHEN REC	30
31	EXISTING	20	1							1	20	KITCHEN REC	32
33	EXISTING	20	1							1	20	KITCHEN REC	34
35	EXISTING	20	1							1	20	KITCHEN REC	36
37	EXISTING	20	1							1	20	KITCHEN REC	38
39	EXISTING	20	1							1	20	SPACE	40
41	SPACE											SPACE	42

PANEL: P-2

EXISTING MAIN DISCONNECT PANEL BRANCH BREAKERS

VOLTS: 208/120

NEC LOAD: LESS THAN 400A

AMPS: 400

PHASE: 3

NO.	LOAD DESCRIPTION	BRKR AMPS	POLE	LEFT PHASE (LOADING)			RIGHT PHASE (LOADING)			POLE	BRKR AMPS	LOAD DESCRIPTION	NO.
				A	B	C	A	B	C				
1	TOP DOOR REF (E3)	20	3							3	60	NEW A/C	2
3	20	3								3	60		4
5	HOT BOX RECY	20	3							3	60		6
7	HOT BOX RECY	20	3							3	50	A/C ME	8
9	STAINLESS COOLER	20	3							3	50		10
11	OFFICE	20	3							3	50		12
13	MEAT COOLER	30	2							1	60	A/C REVIS RMT WEITS	14
15	20	3								3	60		16
17	PREP COOLER	30	2							3	60		18
19	30	2								2	30	EXISTING	20
21	FREEZER	15	3							2	30		22
23	15	2								3	30	RESTROOM	24
25	EXISTING	30	2							2	30		26
27	30	2								2	30	A/C ME	28
29	PANEL P-3	100	2							2	30		30
31	100	2								1	20	EXISTING	32
33	EXISTING	30	1							1	20	EXISTING	34
35	EXISTING	EX	EX							EX	EX	EXISTING	36
37	EXISTING	EX	EX							EX	EX	EXISTING	38
39	EXISTING	EX	EX							EX	EX	EXISTING	40
41	EXISTING	EX	EX							EX	EX	EXISTING	42

PANEL: P-3

EXISTING MAIN LOG ONLY PANEL BRANCH BREAKERS

VOLTS: 120/208

NEC LOAD: LESS THAN 100A

AMPS: 100

PHASE: 1

NO.	LOAD DESCRIPTION	BRKR AMPS	POLE	LEFT PHASE (LOADING)			RIGHT PHASE (LOADING)			POLE	BRKR AMPS	LOAD DESCRIPTION	NO.
				A	B	C	A	B	C				
1	EXISTING	20	2							2	20	EXISTING	2
3		20	2							2	20		4
5	LOCKED ROOM	20	2							2	20	KITCHEN	6
7	LOCKED ROOM	20	2							2	20		8
9	LOCKED ROOM	20	2							2	20		10
11	LOCKED ROOM	20	2							2	20	DRINK	12
13	UTILITY	20	2							2	20	RIVER ROOM REC	14
15	UTILITY	20	2							2	20	BAR COUT	16
17	SPARE	20	2							2	20	PURNACE	18
19	UPSTAIRS A/C	30	2							2	30	EXISTING	20
21		30	2							2	30	1ST FLO WORK REC	22
23	SOUTH A/C	30	2							2	30	1ST FLOOR REC	24
25		30	2							2	30	MOF BOX (EN)	26
27	25A BLUNDER (1380	30	2				1800	1725	1	20	PIZZA RF (EL2)	28	
29	25A BLUNDER (1380	30	2			1600				20	SPAC	30	

Bruns Consulting
2120 WATSON RD., FT. RECOVERY, OH 45846
(419) 882-2467

**LIGHTING PLAN
PROPOSED RENOVATIONS
RUDY'S SMOKEHOUSE**

REVISIONS:

Michael J. Bruns 6/18/2026

PROJ. NO. 2120 WATSON RD., FT. RECOVERY, OH 45846
DWG. NO. 2120 WATSON RD., FT. RECOVERY, OH 45846
SCALE: AS SHOWN
DRAWN: MJB CHECKED: MJB DATE: 05-18-26 SHEET NO. 2 OF 2